

Environmental Assessment

**Weeki Wachee Gardens
Vertex Development, LLC
Vertex # FL-5197
Trileaf # 615427
Cofer Road
Weeki Wachee, FL**

Prepared For:
Vertex Development, LLC
405 S. Dale Mabry Highway, Suite 244
Tampa, FL 33609

Prepared By:



June 23, 2017

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1. INTRODUCTION

Vertex Developments, LLC (Vertex), retained Trileaf Corporation (Trileaf) to conduct an Environmental Assessment (EA) of a proposed telecommunications tower facility located at Cofer Road, Weeki Wachee, FL 33609, 28.53911° north latitude and 82.61889° west longitude. The EA is mandated by the Federal Communications Commission (FCC) (47 CFR 1.1307) in its procedures to implement the National Environmental Policy Act of 1969 (NEPA).

1.1. Purpose

Trileaf reviewed documentation for the subject site in accordance with the FCC NEPA procedures outlined in 47 CFR 1.1307. As noted in the initial NEPA Summary Checklist provided in Appendix 7.2, all items were answered in the negative with the exception of the floodplain. NEPA research indicated that the site is located in the 100-year floodplain. According to 47 CFR 1.1307(a)(6), an environmental assessment must be prepared for facilities located in a floodplain. Therefore, this EA has been conducted to address 47 CFR 1.1307(a)(6) and Executive Order 11988.

1.2. Limitations and Exceptions to Assessment

The information contained in this report is limited to the review of information obtained from the NEPA document dated, May 11, 2017, and prepared by Trileaf, and to subsequent research, as discussed in this report.

2. SITE DESCRIPTION

2.1. Property Location

The subject site is located at Cofer Road, Weeki Wachee, FL 33609, and Latitude: 28-32-20.79 N, Longitude: 82-37-7.99 W. A topographic map is provided in Appendix 7.1.

2.2. Site Characteristics

This site consists of an unutilized wooded lot of land, and is set within a residential area of Weeki Wachee. Photographs of the site, which were taken by Mr. Edgar Castro Tello of Trileaf on February 2, 2017, are included in Appendix 7.1.

During the site reconnaissance, the current use of the surrounding properties was observed. The area overall consists of predominantly wooded land and residences. North of the proposed lease area is wooded land followed by residences and Cortez Boulevard. East of the proposed lease area is wooded followed by Shoal Line Boulevard. South of the proposed lease area is a ditch followed by Cofer Road followed by wooded land. West of the proposed lease area is wooded followed by residences.

2.3. Proposed Improvements

This project involves the review of the proposed construction of a 190-foot tall monopole telecommunications tower (with an overall height of 199 feet with all appurtenances) and will be located within the proposed 4,900 square foot lease area and compound where associated equipment will be located. The project includes associated ground-based equipment within a 30-foot by 30-foot lease area. The equipment will be elevated 1 foot above the base flood elevation

(BFE) of 11 feet. A proposed 20-foot wide access easement will extend 114 feet southwest, connecting to Cofer Road. Construction Drawings are included in Appendix 7.3.

2.4. Zoning

According to the Hernando County Zoning Department, the Site is located within Zone H97AG, Agricultural District. On January 10, 2017, the Hernando County Board of County Commissioners held a duly advertised public hearing to consider rezoning petitions. On January 10, 2017, the Board of County Commissioners voted 4-1 in favor of adopting Resolution 2017-14 approving the request for a Public Service Facility Overlay District for Telecommunication Tower with Deviations. Please refer to Appendix 7.4 for the resolution affidavit..

3. POTENTIAL IMPACTS OF THE PROPOSED TOWER

Trileaf reviewed each of the following criteria to determine if the project had an impact per 47 CFR 1.1307. All of the documentation described below can be found in the additional site maps in Appendix 7.1, the NEPA report in Appendix 7.2, or the permits and documentation in Appendix 7.4.

3.1. Designated Wilderness Areas

Trileaf reviewed the USGS 7.5 minute topographic map “Weeki Wachee Spring, Florida” Quadrangle, and the National Wilderness Preservation System website (www.wilderness.net) for designated wilderness areas to determine that the site was not located in an officially designated wilderness or wildlife area. Trileaf determined that the existing tower is not located in a designated wilderness area. There are currently seventeen (17) officially designated wilderness areas in the State of Florida. The closest wilderness area to the project site is the Chassahowitzka Wilderness, which is located approximately 5 miles northeast of the project site. Trileaf determined that the existing tower is not located in a designated wilderness area.

3.2. Designated Wildlife Preserves

Trileaf reviewed the USGS 7.5 minute topographic map “Weeki Wachee Spring, Florida” Quadrangle, the United States Fish & Wildlife Service National Wildlife Refuges website (www.fws.gov/refuges/) and the National Parks Service website (www.nps.gov) to determine that the site was not located in an officially designated wildlife preserve or refuge. Based on this review, the project site was determined to not be located within an officially designated wildlife preserve or refuge. A copy of the Refuges and Park maps are provided in Appendix 7.1.

3.3. Listed, Proposed, Threatened or Endangered Species and Critical Habitat

Trileaf reviewed topographic maps for designated wilderness or wildlife areas at or near the project location. Trileaf reviewed both state-listed and federally-listed threatened and endangered species for Weeki Wachee, Florida, conducted an Informal Biological Assessment, and determined that the proposed development would not have an effect on threatened or endangered species. Additionally, in accordance with the United States Department of Interior, United States Fish and Wildlife Service (USFWS), Jacksonville Ecological Services Field Office letter dated July 15, 2016, titled *Clearance to Proceed with Communication Tower Projects*, the

project site is categorically excluded from further consultation with USFWS. Therefore, as Trileaf determined the project would have no effect on listed or proposed threatened or endangered species or critical habitats, no further consultation with the USFWS was required. A copy of the July 15, 2016 USFWS clearance letter and IBA are located in Appendix D.

3.4. Migratory Birds

Trileaf reviewed available information relevant to migratory bird impacts and summarized that material here for consideration. According to estimated mapped migratory bird flyways posted on <http://www.birdnature.com/flyways.html>, the Property is located near a main route of a migratory bird flyway of the Central and Atlantic Flyways. Upon our site investigation, it was determined that the project area is not located in a National Wetlands Inventory mapped wetland, waterway, wildlife refuge, national wilderness area, native grassland or forest area, ridge-line, mountain top, coastline or area commonly known to have high incidences of fog or low clouds, where migratory birds may be found. There are no significant topographic features on the landscape near the site, and the proposed tower is not located on a local high point that would increase potential effects to migratory birds. Using the FAA's ASR database, there are no towers were identified within a 3 mile radius from the proposed tower site. The nearest registered tower is a 334 foot tall self-support tower located approximately 4.46 miles southeast of the existing tower site. The surrounding habitat is wooded land with a residential neighborhood to the northwest and a main road to the east. This vicinity to a major roadway decreases the value of the land to migratory birds and decreases the chances the area would be used by passing flocks.

3.5. Federally Designated Historic and Cultural Resources

Trileaf performed a Section 106 Review in accordance with the Nationwide Programmatic Agreement for Review of Effects on historic Properties for Certain Undertakings Approved by the Federal Communications Commission (FCC) dated September 2004. Our investigation includes determining if the site is contained in, on, or within the viewshed of a building, site, district, structure, or object, significant in American history, architecture, archaeology, engineering, or culture, that is listed, or eligible for listing on the State or National Registers of Historic Places, or located in or on an Indian Religious Site.

A Cultural Resources Assessment was conducted by Stone Point Services, LLC (Stone Point) at the site located in Weeki Wachee, Florida. The archival research determined that there are no historic properties located within the APE for direct or visual effects. Additionally, shovel testing performed during the site visit confirmed that no archaeological sites were identified. Stone Point recommended that no additional archaeological work is needed for this proposed tower site. On February 3, 2017, Trileaf submitted the Form 620 to the Florida Department of Historic Resources. On March 31, 2017, the Florida SHPO responded stating that this project has no historic properties in area of potential effects (APE) for direct or visual effects.

3.6. Native American Religious or Sacred Sites

Project Information has been submitted to potentially interested tribes via the FCC's TCNS website. On January 31, 2017, Trileaf submitted the Tower Construction Notification to the FCC who initiated the contact with the tribes on February 3, 2017. On March 1, 2017, Trileaf attempted to contact all Native American Tribes with interest in the project area for a second time. On April 28, 2017, all tribes were cleared. Trileaf determined that the property is not located on or near a Native American Religious or Sacred Site.

3.7. Floodplains

Trileaf reviewed the USGS topographic map “Weeki Wachee Spring” Quadrangle and the Flood Insurance Rate Map (No. 12053C0161D) to determine if the project was located within the 100-year floodplain. A copy of the FEMA flood map is included in Appendix 7.1. Based on the review, the site is located in Flood Zone AE, defined as an area within the 100-year floodplain with determined base flood elevation (BFE) of 11 feet. As a result, this environmental assessment is needed.

The BFE, as indicated on the FEMA flood map, is 11 feet above mean sea level. Based on the information found on the site survey provided by Geoline Surveying, Inc., the ground elevation at the site is +/-4.2 feet and the equipment will be located on an elevated platform, raised 1 foot above the BFE, for a total elevation of 12 feet. This information can be found on the site drawings located in Appendix 7.3. Therefore, the equipment should not be affected by floodwaters or alter flow patterns or increase the lateral extent of the Flood Zone.

3.8. Surface Features – Wetlands, Deforestation or Fill

Trileaf performed a field visit and identified all surface water bodies in the action area. Using local maps in combination with an area reconnaissance, Trileaf determined that there were no water bodies located within the project area. Trileaf also reviewed the USGS topographic map “Weeki Wachee Spring” Quadrangle, soil composition and survey drawings, as well as the National Wetlands Inventory map to determine if the proposed project would have an impact on any wetlands or require significant amounts of fill or grading. Trileaf determined that the site is not located in a recognized National Wetland area. On January 20, 2015, Trileaf performed a wetland delineation on behalf of Vertex Development to determine the landward extent of the surrounding wetlands. According to the results, the Property is not located within a wetland, and the nearest wetland at its closest point is located 13 feet northwest. Although the site is not in a wetland area, it does intrude into the wetland buffer areas and is currently undergoing the consultation process with the Southwest Florida Water Management District under application number 747372 for an exemption for an Environmental Resource Permit. The soil survey, topographic map, and wetlands map are located in Appendix 7.1.

3.9. Zoning/High Intensity White Lights

According to Hernando County Chapter 163 and Section 125.01(1), *Fla. Stat.*, the Hernando County Zoning Department approved the construction of the project on November 14, 2016. The zoning department stated the project must apply to certain conditions including: the tower will not exceed 200 feet, all permits must be received from Hernando County, and the tower must support a minimum of four (4) additional users.

According to the site plans provided by Vertex, the project meets all criteria listed in the zoning approval and associated documentation is included in Appendix 7.4

3.10. Exposure of Workers or General Public to Excess Levels of Radio Frequency

This category applies to FCC licensees and not antenna structure owners. Antenna structures (tower) do not emit radio frequency radiation. FCC licensees transmitting from antennas mounted on Milestone Communications-owned antenna structures are required to comply with radio frequency exposure standards.

3.11. Investigation of Alternative Locations

The location of telecommunication towers are typically selected after consideration of other properties based upon coverage objectives, structural considerations, and eliminating the need for future telecommunication towers built within the area to support new networks. In this case, no other alternatives were considered due to the fact that this project has been mandated by consent decree issued by the Federal Court and EPA to ensure the Hampton Roads Sanitation District (HRSD) can operate and prevent the discharge of untreated effluent during major storm events. Vertex Development, LLC provided the following summary about why this project was mandated:

“Vertex discovered there was a lack of wireless coverage in this area of Weeki Wachee. After Reviewing the Hernando County Land Development Code and corresponding Zoning Map, Vertex found there to be two “zone-able” properties, both owned by the same entity, Dexter Properties. Both parcels are completely undeveloped, and the majority of both parcels is subject to a forest management plan (by Hernando County) and conservation preservation plan (by SWFWMD). However, on the western portion of the northern parcel is an area that is suitable for tower placement. Thus, we were able to negotiate a lease and location on the parent parcel that met zoning and wetland setbacks in addition to aesthetic requirements for future development. However, as the entire surrounding area lies in Flood Zone “AE,” floodplain impact is unavoidable”

Therefore, the no action alternative of not constructing the tower would be the inability of residents in the Weeki Wachee area to have reliable wireless service.

3.12. Public Comment

At this time, Trileaf is unaware of any public controversy or comments regarding the existing telecommunications tower. On February 10, 2017 Trileaf published a notice of the review of the proposed tower in The Hernando Sun requesting comments regarding historical concerns. On February 7, 2017, the Hernando Planning Department was invited to comment on the project’s potential effects. No comments or complaints from members of the public regarding this tower have been received to date.

4. CONCLUSIONS

Trileaf performed a NEPA Report as mandated by the Federal Communications Commission (FCC) (47 CFR 1.1307) in its procedures to implement the National Environmental Policy Act of 1969 (NEPA). Details of the NEPA Report are outlined in Trileaf’s NEPA Report, dated May 11, 2017. The NEPA Report is provided in Appendix 7.2.

The NEPA Report identified impacts to floodplains in the affirmative. Therefore this EA has been conducted to address 47 CFR 1.1307(a)(6), which states that an environmental assessment must be prepared for facilities that will be located in a floodplain. The project is proposed to be constructed within the 100-year floodplain; however, due to the small size of the lease area within the flood zone and the elevation of associated equipment, the effect on potential floodwaters should be minimal. Therefore, the proposed project is not expected to alter flow patterns or increase the lateral extent of the Flood Zone.

5. SIGNATURES OF ENVIRONMENTAL PROFESSIONALS

This Environmental Assessment was performed in accordance with the generally accepted practices in the field of environmental consulting. The analysis and recommendations indicated in this report are based upon the best current available information that could be obtained in the specified time frame. Trileaf assumes no liability for unauthorized, independent conclusions or recommendations made by others in conjunction with the data presented in this report.

Respectfully submitted,

Trileaf Corporation



Lauren Lanoux
Project Scientist



Sarah Morales
Project Manager

6. QUALIFICATIONS OF ENVIRONMENTAL PROFESSIONALS

Resumes are attached

Appendix 7.1

Site Maps and Photographs

Please see Appendix 7.2

Appendix 7.2
NEPA Report and Wetlands Delineation Report

NEPA Report

May 11, 2017



Weeki Wachee Gardens

FL-5197

Cofer Road

Weeki Wachee, FL 34607

Trileaf # 615427

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NEPA Report Summary

Site Name/Location:

Weeki Wachee Gardens / FL-5197 / Trileaf # 615427
Cofer Road, Weeki Wachee, FL 34607
Latitude: 28° 32' 20.79" N, Longitude: 82° 37' 7.99" W

Project Description:

Vertex Development is proposing the construction of a 190-foot tall monopole communications tower with an overall height of 190 feet, the placement of associated equipment within a 4,900-square-foot lease area, and installation of a 20-foot wide access/utility easement that extends south then southwest connecting with Cofer Road.

1. Is the facility located in an officially designated wilderness area? [47 CFR 1.1307 (a)(1)]

Yes	No	Data Sources:	Site Reconnaissance Review of 7.5-Minute USGS Topographic Map (Appendix B) National Wilderness Preservation System Website (www.wilderness.net)
<input type="checkbox"/>	<input checked="" type="checkbox"/>		

2. Is the facility located in an officially designated wildlife preserve? [47 CFR 1.1307 (a)(2)]

Yes	No	Data Sources:	Site Reconnaissance Review of 7.5-Minute USGS Topographic Map (Appendix B) US Fish & Wildlife Service National Wildlife Refuge System Map (Appendix B)
<input type="checkbox"/>	<input checked="" type="checkbox"/>		

3. Will the facility: (i) affect listed threatened or endangered species or designated critical habitats; or (ii) jeopardize the continued existence of any proposed endangered or threatened species; or is it likely to result in the destruction or adverse modification of proposed critical habitats, as determined by the Secretary of the Interior pursuant to the Endangered Species Act of 1973? [47 CFR 1.1307 (a)(3)]

Yes	No	Data Sources:	Site Reconnaissance US Fish & Wildlife Service Federally Listed Endangered Species US Fish & Wildlife Service Critical Habitat Portal Map (Appendix B) Informal Biological Assessment (Appendix D)
<input type="checkbox"/>	<input checked="" type="checkbox"/>		

4. Will the facility affect districts, sites, buildings, structures, or objects significant in American history, architecture, archeology, engineering or culture, that are listed, or are eligible for listing on the State or National Registers of Historic Places? [47 CFR 1.1307 (a)(4)]

Yes	No	Data Sources:	Site Reconnaissance Cultural Resource Investigation (Appendix E) State Historic Preservation Office Section 106 Review (Appendix E)
<input type="checkbox"/>	<input checked="" type="checkbox"/>		

5. Will the facility affect an Indian religious site? [47 CFR 1.1307 (a)(5)]

Yes	No	Data Sources:	Site Reconnaissance Correspondence with Native American Tribes via FCC TCNS (Appendix F) Review of Bureau of Indian Affairs Indian Reservation Map (Appendix B)
<input type="checkbox"/>	<input checked="" type="checkbox"/>		

6. Will the facility be located in a "floodplain"? [47 CFR 1.1307 (a)(6)]

Yes	No	Data Sources:	Review of FEMA Flood Map 12053C0161D(Appendix B)
<input checked="" type="checkbox"/>	<input type="checkbox"/>		

7. Will the construction of the facility involve significant change in surface features (e.g. wetland fill, deforestation, or water diversion)? [47 CFR 1.1307 (a)(7)]

Yes	No	Data Sources:	Site Reconnaissance Review of 7.5-Minute USGS Topographic Map (Appendix B) Review of US Fish & Wildlife Service National Wetlands Inventory Map (Appendix B) Review of USDA NRCS Web Soil Survey Map (Appendix B)
<input type="checkbox"/>	<input checked="" type="checkbox"/>		

8. Will the antenna tower or supporting structure be equipped with high intensity white lights and located in a residential neighborhood, as defined by the applicable zoning law?

Yes	No	Data Sources:	Construction Drawings (Appendix A) It is assumed that clients will not utilize high intensity white lights in residential areas
<input type="checkbox"/>	<input checked="" type="checkbox"/>		

Lauren Lanoux

Signature

Lauren Lanoux
Name

May 11, 2017

Date

Trileaf Corporation
Company

NEPA Report

Introduction

Trileaf Corporation (Trileaf) completed a NEPA Review for the above-referenced Vertex Development, LLC (Vertex) site. The purpose of a NEPA Review is to comply with the National Environmental Policy Act (NEPA) of 1969. Trileaf performed extensive research by consulting with appropriate state and federal agencies and reviewing readily available published lists, files, data, and maps to provide our clients with a complete NEPA document. The following summarizes the scope of work Trileaf performed in accordance with the Federal Communications Commission's (FCC's) rules implementing NEPA (47 CFR Section 1.1307 (a) (1) through (8) to determine whether any of the below listed FCC special interest items would be affected by the proposed action. Referenced materials are included as attachments, where applicable and available.

Vertex is proposing to construct a 190-foot monopole communications tower with an overall height of 190 feet, place associated equipment within an approximately 4,900 square foot lease area, and install an approximately 20-foot wide approximately 104-foot long access/utility easement. The proposed easement will extend south then southwest, connecting with Cofer Road. The proposed project site is located at approximately Cofer Road, Weeki Wachee, FL 34607 at 28° 32' 20.79" North latitude and 82° 37' 7.99" West longitude.

During Trileaf's site reconnaissance, it was observed that the site is currently an unutilized wooded area, and the areas surrounding the site are currently residential and wooded land

1. Will the facility be located in an officially designated wilderness area?

Trileaf reviewed the USGS 7.5-minute topographic map titled "Weeki Wachee Spring" Quadrangle, Florida, and information from the National Wilderness Preservation System (NWPS) (<http://www.wilderness.net>) to determine if the site is located within an officially designated wilderness area.

There are currently seventeen (17) officially designated wilderness areas in the State of Florida. The closest wilderness area to the project site is the Chassahowitzka Wilderness Area, which is located approximately 5 miles northeast of the project site.

Based on this review, the project site is not located within an officially designated wilderness area.

2. Will the facility be located in an officially designated wildlife preserve?

Trileaf reviewed the USGS 7.5-minute topographic map titled "Weeki Wachee Spring" Quadrangle, Florida, and information from the National Wildlife Refuge (NWR) System (<http://www.fws.gov/refuges>) to determine if the site is located within an officially designated wildlife preserve or refuge.

There are currently thirty (30) officially designated wilderness areas in the State of Florida. The closest wilderness area to the project site is the Chassahowitzka National Wildlife Refuge, which is located approximately 5 miles northeast of the project site.

Based on this review, the project site is not located within an officially designated wildlife preserve or refuge. A copy of the NWR System map is located in Appendix B.

3. Will the facility (i) affect listed threatened or endangered species or designated critical habitat; or (ii) likely jeopardize the continued existence of any proposed endangered or threatened species or likely result in the destruction or adverse modification of proposed critical habitats, as determined by the Secretary of the Interior pursuant to the Endangered Species Act of 1973?

The Endangered Species Act (ESA) of 1973 (16 U.S.C. §§ 1536), as amended, protects endangered and threatened species and the ecosystems upon which they depend. As interpreted and implemented by 50 CFR 402, Section 7 of the ESA directs Federal agencies, in consultation with and with the assistance of the Secretary of the Interior, to utilize their authorities to further the purposes of the ESA. It also requires every Federal agency to ensure that any action it authorizes, funds or carries out, is not likely to jeopardize the continued existence of any endangered or threatened species or results in the destruction or adverse modification of critical habitat.

On April 2, 2015, a Trileaf representative visited and photographed the project site to conduct an Informal Biological Assessment (IBA). In addition, Trileaf reviewed the USFWS Critical Habitat Portal (<https://ecos.fws.gov/ecp/report/table/critical-habitat.html>) and determined that the site is not located within designated USFWS critical habitat. Based on the results of our assessment, impacts to listed and/or proposed, threatened and endangered species or critical habitats resulting from the proposed action are not anticipated. Therefore, Trileaf determined that the proposed project site will have “no effect” on the species, their habitats, or designated critical habitat. A copy of the Critical Habitat Portal is located in Appendix B and the IBA is located in Appendix D.

FEDERAL

In accordance with the United States Department of Interior, United States Fish and Wildlife Service (USFWS), Jacksonville Ecological Services Field Office letter dated July 15, 2016, titled Clearance to Proceed with Communication Tower Projects, the project site is categorically excluded from further consultation with USFWS. Therefore, as Trileaf determined the project would have no effect on listed or proposed threatened or endangered species or critical habitats, no further consultation is with the USFWS was required. A copy of the July 15, 2016 USFWS clearance letter and IBA are located in Appendix D.

4. Will the facility affect districts, sites, buildings, structures, or objects significant in American history, architecture, archeology, engineering, or culture that are listed, or are eligible for listing, in the National Register of Historic Places?

Trileaf referred to Section 106 of the National Historic Preservation Act (NHPA) of 1966 as amended (16 U.S.C. §§ 470 et seq.), the Advisory Council on Historic Preservation (ACHP) implementing regulations (36 CFR Part 800) and the Nationwide Programmatic Agreement (NPA) for Review of Effects on Historic Properties for Certain Undertakings Approved by the Federal Communications Commission dated September 2004 to determine if the project site is contained in, on, or within the viewshed of a building, site, district, structure, or object, significant in American history, architecture, archaeology, engineering, or culture, that is listed, or eligible for listing on the National Registers of Historic Places, or located in or on an Indian Religious Site.

A search of the *National Historic Landmarks* (NHL), *National Register of Historic Places* (NRHP), *State Historic Preservation Office* (SHPO) files, and a field survey was conducted by Mr. Todd McMakin, Mr. David Macias, and Mr. Andres E. Garzon-Oechsle, Secretary of Interior-qualified Archaeologist contracted

by Trileaf through Stone Point Services, LLC, to identify any cultural resources within the area of direct effects and within a 0.50-mile radius for visual effects.

It was determined that there were no historic properties identified within the Area of Potential Effects (APE) for direct effects, and no historic properties identified within the APE for visual effects. Additionally, the identification process did not locate archaeological materials that would be directly affected, or sites that are of cultural or religious significance to Tribes/NHOs. Documentation of these reviews was submitted to the SHPO via Form 620 on February 23, 2017. The SHPO concurred that the proposed undertaking would have no direct or visual effects on historic properties in a response letter dated March 31, 2017. A copy of the SHPO concurrence letter, Form 620, and associated documents are located in Appendix E.

On February 7, 2017, the Hernando Planning Department was notified of the proposed project and invited to comment on the proposed project's potential effect on Historic Properties as well as indicate whether they are interested in consulting further on the proposed project. Additionally, a legal notice regarding the proposed telecommunications tower construction was posted in the *Hernando Sun* on February 10, 2017. No comments from the local government, historical society, or legal notice have been received by Trileaf. Copies of the correspondence and legal notice are located in Appendix E.

NATIONAL SCENIC TRAILS

On October 5, 1999, the Cellular Telecommunications Industry Association, Personal Communications Industry Association, Appalachian Trail Conference, American Hiking Society, and representative Managing and Supporting Trails Organizations (MSTOs) for the National Scenic Trails signed a resolution for the Siting of Wireless Telecommunications Facilities Near National Scenic Trails. This resolution states that if a wireless telecommunications or site management company plans a new or significantly expanded facility within one mile of a National Scenic Trail, it will notify the non-profit group that supports the trail.

In order to determine if the site is located within one mile of a National Scenic Trail, Trileaf reviewed information from the National Park Service (NPS) National Trails System created by the National Trails System Act of 1968.

Based on this review, the project site is not located within 1 mile of a National Scenic Trail. A copy of the trails map is located in Appendix B.

5. Will the facility affect any Indian religious sites?

Trileaf referred to Section 106 of the National Historic Preservation Act (NHPA) of 1966 as amended (16 U.S.C. §§ 470 et seq.), the Advisory Council on Historic Preservation (ACHP) implementing regulations (36 CFR Part 800) and the Nationwide Programmatic Agreement (NPA) for Review of Effects on Historic Properties for Certain Undertakings Approved by the Federal Communications Commission dated September 2004 to determine if the project site is located in or on an Indian Religious Site.

On January 31, 2017, Trileaf submitted project information through the Tower Construction Notification System (TCNS) to the FCC who initiated contact with the tribes on February 3, 2017. As of April 28, 2017, all tribes have confirmed clearance either directly or by default via the FCC referral process. Trileaf determined that the subject Property is not located on or near a Native American Religious or Sacred Site. However, if archaeological remains or resources are unearthed during construction activities, Trileaf recommends that the client stop construction and notify our office immediately. Tribal consultation documentation and associated correspondence is located in Appendix F.

6. Will the facility be located in a floodplain?

Trileaf reviewed the relevant Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Panel #12053C0161D, dated February 2, 2012, to determine if the project was located within the 100-year floodplain.

Trileaf determined that the Property is located in Zone AE, an area subject to a 1 percent annual chance of flooding, with a site base flood elevation of 10 feet above mean sea level. Therefore, the project site is located within a 100-year floodplain. Based on the findings of this review, “Yes” was marked on the NEPA checklist. A copy of the FEMA FIRM showing the project site location is located in Appendix B.

7. Will the construction of the facility involve significant change in surface features (e.g. wetland fill, deforestation, or water diversion)?

Trileaf determined through site reconnaissance, review of the relevant USGS 7.5-minute topographic map titled “Weeki Wachee Spring” Quadrangle, Florida, and review of the relevant USFWS National Wetlands Inventory Map (<http://www.fws.gov/wetlands/Data/Mapper.html>) that there are three federally designated wetlands in the immediate vicinity of the proposed project site.

Trileaf determined through site reconnaissance, review of the relevant USGS 7.5 minute topographic map titled Weeki Wachee Spring, Florida Quadrangle, the Wetland Delineation Survey dated, January 23, 2015, performed by Trileaf, and the USFWS National Wetlands Inventory (NWI) map (<http://www.fws.gov/wetlands/Data/Mapper.html>) that the project site is located approximately 140’ west of a Palustrine emergent persistent semi-permanently flooded (PEM1F) wetland, and 201’ east of a Palustrine forested broad-leaved deciduous/evergreen seasonally flooded (PFO1/3C) wetland. A copy of the NWI map showing the project site location is attached and included in Appendix B.

On January 23, 2015, the landward extent of wetlands was delineated using vegetation, soil analysis, and hydrologic indicators per F.A.C. 62-340 “Delineation of the Landward Extent of Wetlands and Surface Waters” to establish a wetland boundary. As a result of the wetland delineation, the project site was determined to be upland habitat approximately 140 feet west of the delineated wetland boundary. A copy of the Wetland Delineation report is attached and included in Appendix B.

Based on this review, no designated wetland areas were located within the vicinity of this project and no significant changes in surface features resulting from the proposed undertaking are anticipated. Copies of the soil map and wetlands map are located in Appendix B.

8. Zoning/High Intensity White Lights/Radio Frequency

As a standard practice, Vertex does not construct facilities requiring high intensity white lights that are to be located in residentially zoned neighborhoods. According to Vertex, high intensity white lights will not be used for towers less than 500 feet in height.

Conclusion

A NEPA Review of the proposed undertaking was performed by Trileaf Corporation in conformance with the FCC rules and regulations for implementing NEPA; 47 CFR 1.1301 to 1.1319.

Based on data obtained during the Site visit, consultation with government agencies, and a review of readily available information from other sources, the preparation and filing of an Environmental Assessment will be required based on the project site being located within Zone AE of the 100-year floodplain.

Qualifications



Lauren Lanoux
Project Scientist



Sarah N. Morales
Project Manager

Appendix A

Site Plans

BOUNDARY AND TOPOGRAPHIC SURVEY

IN SECTION 29, TOWNSHIP 22 SOUTH, RANGE 17 EAST,
HERNANDO COUNTY, FLORIDA
FOR: VERTEX DEVELOPMENT, LLC

FLOOD NOTE

ACCORDING TO MY INTERPRETATION OF COMMUNITY PANEL NUMBER 120110 0161 H OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) FOR HERNANDO COUNTY, FLORIDA, DATED 2/2/2012, THE SUBJECT PROPERTY IS IN FLOOD ZONE "AE". "SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, BASE FLOOD ELEVATIONS DETERMINED".

THE BASE FLOOD ELEVATION DEPICTED ON THE COMMUNITY PANEL FOR THE LOCATION OF THE SUBJECT TOWER PARCEL IS 11.0' NAVD88.

SURVEYOR'S NOTES

- BEARINGS HEREON ARE REFERENCED TO GRID NORTH AS ESTABLISHED BY THE FLORIDA STATE PLANE COORDINATE SYSTEM, FLORIDA WEST ZONE, NAD'83 ADJUSTMENT, AS EVIDENCED BY THE BEARING OF NORTH 00°02'06" WEST ALONG THE WEST LINE OF THE SOUTHEAST 1/4 OF SECTION 29, TOWNSHIP 22 SOUTH, RANGE 17 EAST.
- UNDERGROUND UTILITIES SHOWN HEREON ARE LIMITED TO AND ARE PER OBSERVED, ABOVEGROUND INDICATIONS SET BY OTHERS. NO SUB-SURFACE INVESTIGATION WAS PERFORMED BY THIS OFFICE.
- THE BOUNDARY & TOPOGRAPHIC SURVEY SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS DATED APRIL 22, 2016.
- REPRODUCTIONS OF THIS SKETCH ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THE PURPOSE OF THIS SURVEY IS TO ESTABLISH AND DESCRIBE A TOWER PARCEL AND ASSOCIATED EASEMENT. THIS IS NOT A BOUNDARY SURVEY OF THE PARENT PARCEL.
- STATE PLANE COORDINATES, LATITUDE, LONGITUDE, AND ELEVATIONS DEPICTED HEREON ARE BASED UPON GPS OBSERVATIONS MADE WITH AN ASHTECH LOCUS RECEIVER THAT WERE POST PROCESSED WITH CORS DATA FILES. ELEVATIONS ARE REFERENCED TO NAVD'88. LATITUDE, LONGITUDE AND STATE PLANE COORDINATES ARE REFERENCED TO NAD'83.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH OR AN ABSTRACT. THIS OFFICE HAS NOT PERFORMED A SEARCH OF THE PUBLIC RECORDS FOR EXISTING EASEMENTS, RIGHTS-OF-WAY, ABANDONMENTS, ZONING, SETBACKS OR DEED RESTRICTIONS.
- PARENT PARCEL ADDRESS
COFER ROAD, WEEKI WACHEE, FL 34607

SURVEY CERTIFIED TO:
VERTEX DEVELOPMENT, LLC

GEOLINE SURVEYING, INC., LB 7082

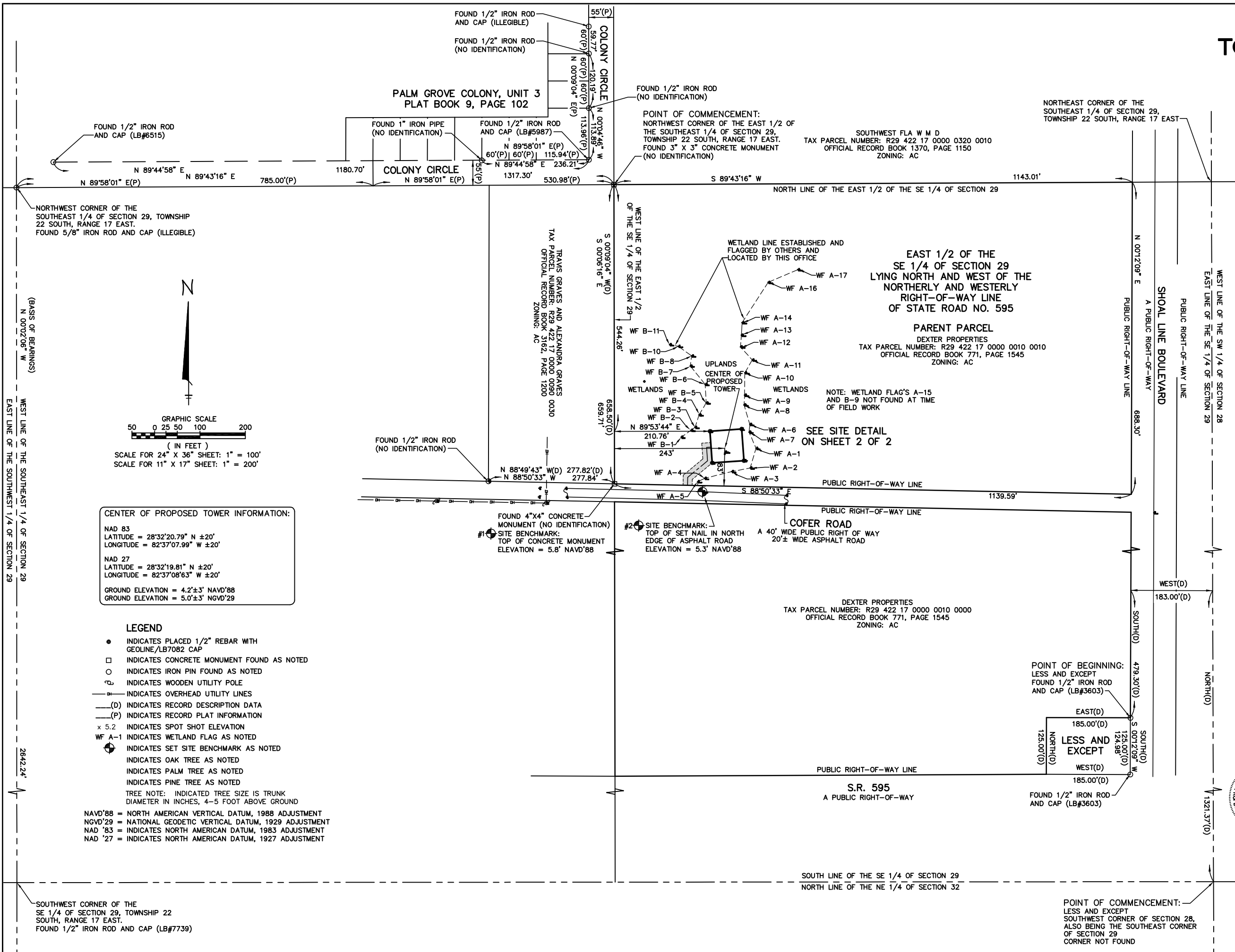
DAVID G. SHORT, P.S.M.
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER
CERTIFICATE OF REGISTRATION NO. 5022



GEOLINE
SURVEYING, INC.

Professional Land Surveyors
13490 NW 104th Terrace, Suite A
Alachua, Florida 32615
(386)418-0500 Fax: (386)462-9988
geoline@geolineinc.com

DESIGNED	KEITH BARTON	SCALE	AS SHOWN
DRAWN	KEITH BARTON	DATE	APRIL 22, 2016
CHECKED	DAVID SHORT	PROJECT #	264-73
VERTEX DEVELOPMENT SITE NO. FL-5159 WEEKI WACHEE GARDENS SITE, HERNANDO COUNTY, FL ADDRESS: COFER ROAD, WEEKI WACHEE, FL 34607			
DRAWN	264-73	SHEET	1 OF 2

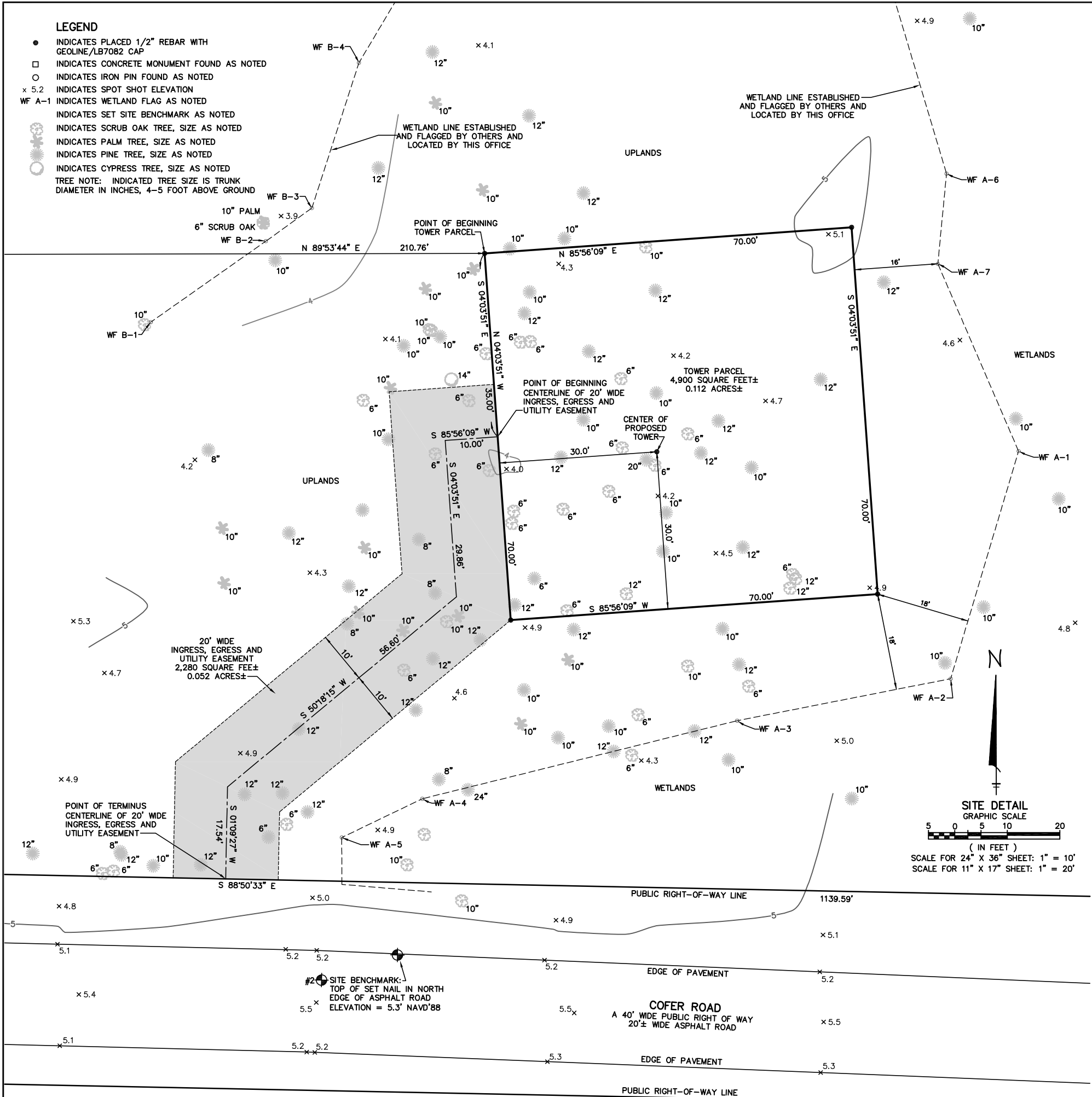


BOUNDARY AND TOPOGRAPHIC SURVEY

IN SECTION 29, TOWNSHIP 22 SOUTH, RANGE 17 EAST,
HERNANDO COUNTY, FLORIDA
FOR: VERTEX DEVELOPMENT, LLC

LEGEND

- INDICATES PLACED 1/2" REBAR WITH GEOLINE/LB7082 CAP
- INDICATES CONCRETE MONUMENT FOUND AS NOTED
- INDICATES IRON PIN FOUND AS NOTED
- × 5.2 INDICATES SPOT SHOT ELEVATION
- WF A-1 INDICATES WETLAND FLAG AS NOTED
- INDICATES SET SITE BENCHMARK AS NOTED
- INDICATES SCRUB OAK TREE, SIZE AS NOTED
- INDICATES PALM TREE, SIZE AS NOTED
- INDICATES PINE TREE, SIZE AS NOTED
- INDICATES CYPRESS TREE, SIZE AS NOTED
- TREE NOTE: INDICATED TREE SIZE IS TRUNK DIAMETER IN INCHES, 4-5 FOOT ABOVE GROUND



VICINITY MAP
NOT TO SCALE



LOCATION MAP
NOT TO SCALE

PROPERTY DESCRIPTIONS

PARENT PARCEL
(OFFICIAL RECORD BOOK 771, PAGE 1545)

THAT PORTION OF THE EAST 1/2 OF THE SE 1/4 OF SECTION 29, TOWNSHIP 22 SOUTH, RANGE 17 EAST, HERNANDO COUNTY, FLORIDA, LYING NORTH AND WEST OF THE NORTHERLY AND WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 595 AS IT IS NOW ESTABLISHED: LESS AND EXCEPT THE FOLLOWING DESCRIBED PORTION THEREOF: COMMENCE AT THE SW CORNER OF SECTION 28, TOWNSHIP 22 SOUTH, RANGE 17 EAST, AND RUN THENCE NORTH ALONG THE WEST LINE THEREOF A DISTANCE OF 1321.37 FEET; THENCE WEST A DISTANCE OF 183.00 FEET TO THE WEST RIGHT-OF-WAY LINE OF STATE ROAD 595; THENCE SOUTH ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 479.30 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 125.00 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD 595; THENCE WEST ALONG SAID NORTH RIGHT-OF-WAY LINE A DISTANCE OF 185.00 FEET; THENCE NORTH PARALLEL TO THE WEST RIGHT-OF-WAY LINE A DISTANCE OF 125.00 FEET; THENCE EAST PARALLEL TO THE SAID NORTH RIGHT-OF-WAY LINE A DISTANCE OF 185.00 FEET TO THE POINT OF BEGINNING. THE ABOVE-DESCRIBED PARCEL CONTAINS 50 ACRES MORE OR LESS. THE ABOVE DESCRIBED PARCEL BEING SUBJECT TO THE EXISTING ROAD RUNNING EAST AND WEST THROUGH THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 29.

TOWER PARCEL
(PREPARED BY GEOLINE SURVEYING, INC.)

THAT PART OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 29, TOWNSHIP 22 SOUTH, RANGE 17 EAST, HERNANDO COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 29, TOWNSHIP 22 SOUTH, RANGE 17 EAST, HERNANDO COUNTY, FLORIDA; THENCE SOUTH 00°06'16" EAST ALONG THE WEST LINE OF SAID EAST 1/2 OF THE SOUTHEAST 1/4 FOR 544.26 FEET; THENCE NORTH 89°53'44" EAST FOR 210.76 FEET TO THE POINT OF BEGINNING; THENCE NORTH 85°56'09" EAST FOR 70.00 FEET; THENCE SOUTH 04°03'51" EAST FOR 70.00 FEET; THENCE SOUTH 85°56'09" WEST FOR 70.00 FEET; THENCE NORTH 04°03'51" WEST FOR 70.00 FEET TO SAID POINT OF BEGINNING.

CONTAINING 4,900 SQUARE FEET (0.112 ACRES), MORE OR LESS.

20 FOOT WIDE INGRESS, EGRESS AND UTILITY EASEMENT
(PREPARED BY GEOLINE SURVEYING, INC.)

THAT PART OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 29, TOWNSHIP 22 SOUTH, RANGE 17 EAST, HERNANDO COUNTY, FLORIDA, LYING WITHIN 10 FEET OF BOTH SIDES OF A CENTERLINE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 29, TOWNSHIP 22 SOUTH, RANGE 17 EAST, HERNANDO COUNTY, FLORIDA; THENCE SOUTH 00°06'16" EAST ALONG THE WEST LINE OF SAID EAST 1/2 OF THE SOUTHEAST 1/4 FOR 544.26 FEET; THENCE NORTH 89°53'44" EAST FOR 210.76 FEET TO THE NORTHWESTERLY CORNER OF A 70-FOOT X 70-FOOT TOWER PARCEL; THENCE SOUTH 04°03'51" EAST ALONG THE WESTERLY LINE OF SAID TOWER PARCEL FOR 35.00 FEET TO THE POINT OF BEGINNING OF THE CENTERLINE OF THE HEREIN DESCRIBED 20-FOOT WIDE INGRESS, EGRESS AND UTILITY EASEMENT; THENCE SOUTH 85°56'09" WEST FOR 20.00 FEET; THENCE SOUTH 04°03'51" EAST ALONG A LINE PARALLEL WITH SAID WESTERLY LINE FOR 29.86 FEET; THENCE SOUTH 50°18'15" WEST FOR 56.60 FEET; THENCE SOUTH 01°09'27" WEST FOR 17.54 FEET TO AN INTERSECTION WITH THE NORTH RIGHT OF WAY LINE OF COFER ROAD, AND THE POINT OF TERMINUS OF THE HEREIN DESCRIBED CENTERLINE.

CONTAINING 2,280 SQUARE FEET (0.052 ACRES), MORE OR LESS.

GEOLINE
SURVEYING, INC.

Professional Land Surveyors
13490 NW 104th Terrace, Suite A
Alachua, Florida 32615
(386)418-0500 Fax: (386)462-9986
geoline@geolineinc.com

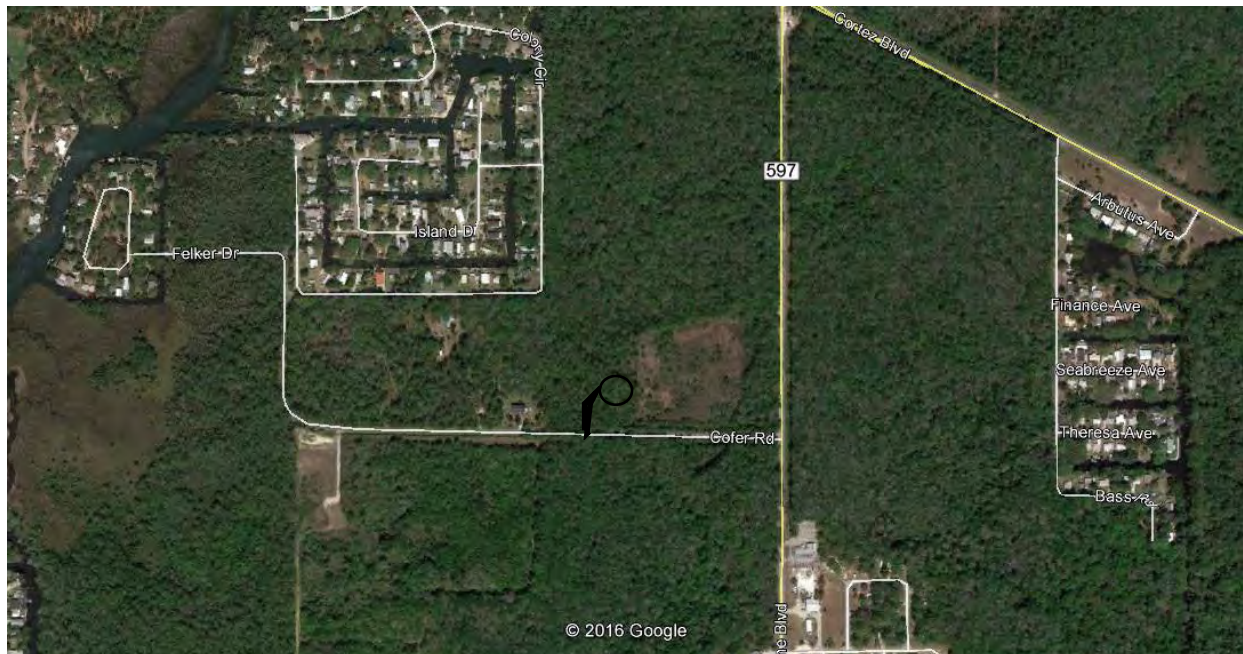
DESIGNED	KEITH BARTON	SCALE	AS SHOWN
DRAWN	KEITH BARTON	DATE	APRIL 22, 2016
CHECKED	DAVID SHORT	PROJECT #	264-73
VERTEX DEVELOPMENT SITE NO. FL-5159			
WEEKI WACHEE GARDENS SITE, HERNANDO COUNTY, FL			
ADDRESS: COFER ROAD, WEEKI WACHEE, FL 34607			
DRAWING #	264-73	SHEET #	1 OF 2

Appendix B

Site Maps



Site Location & Surrounding Properties



Site Location

Easement

Aerial Photographs

Vertex Development, LLC Weeki
Wachee Gardens
Cofer Road
Weeki Wachee, Florida 34607

Google Earth
2016



Weeki Wachee Spring Quadrangle, Florida (2015)

Contour Interval = 10 Feet

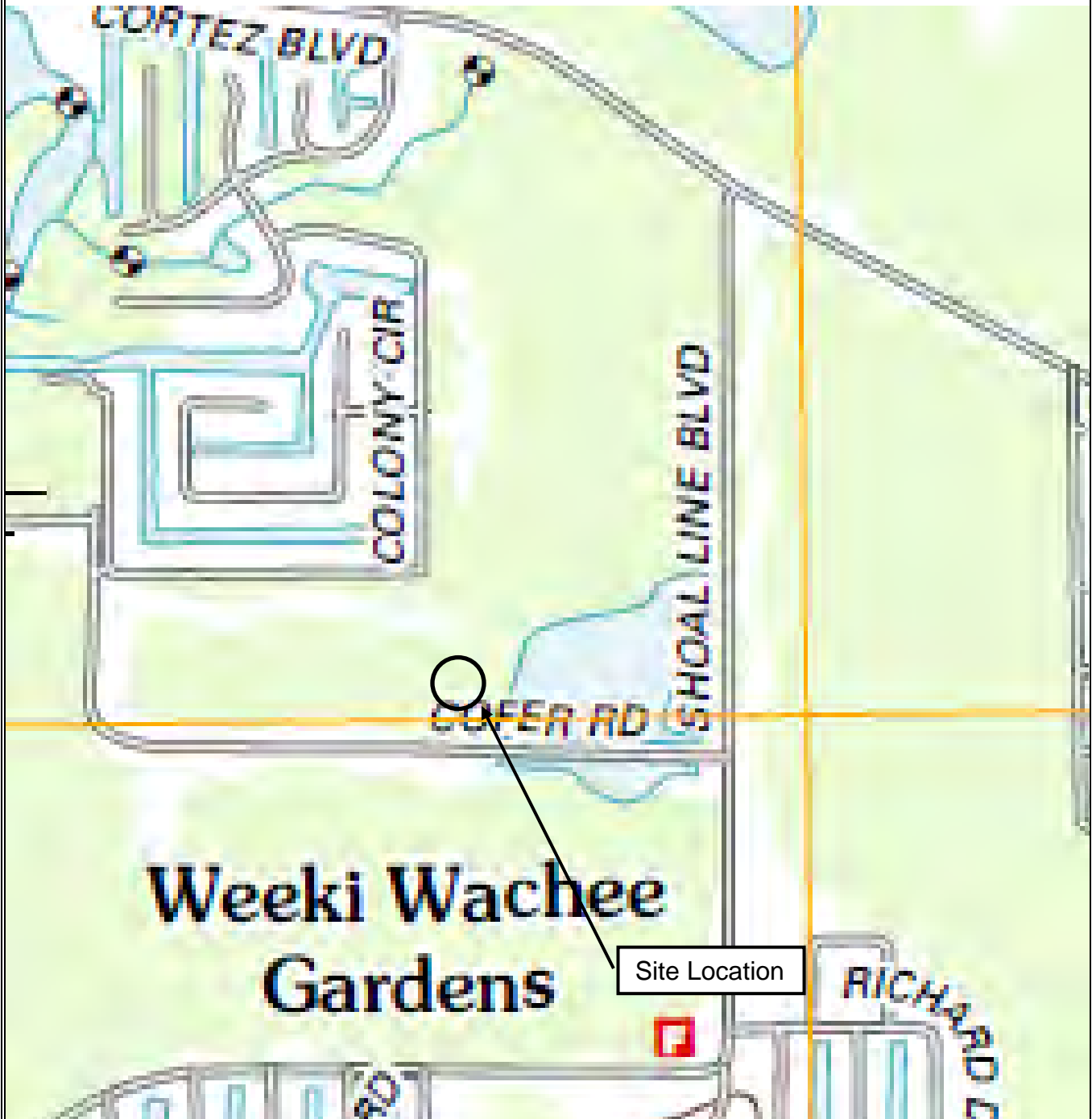
Scale 1 Inch = ~2,000 Feet

Latitude: 28°32'20.79" N Longitude: 82°37'7.99" W

Township: T22S Range: R17E Section: S29



North



USGS Topographic Map – Location Map

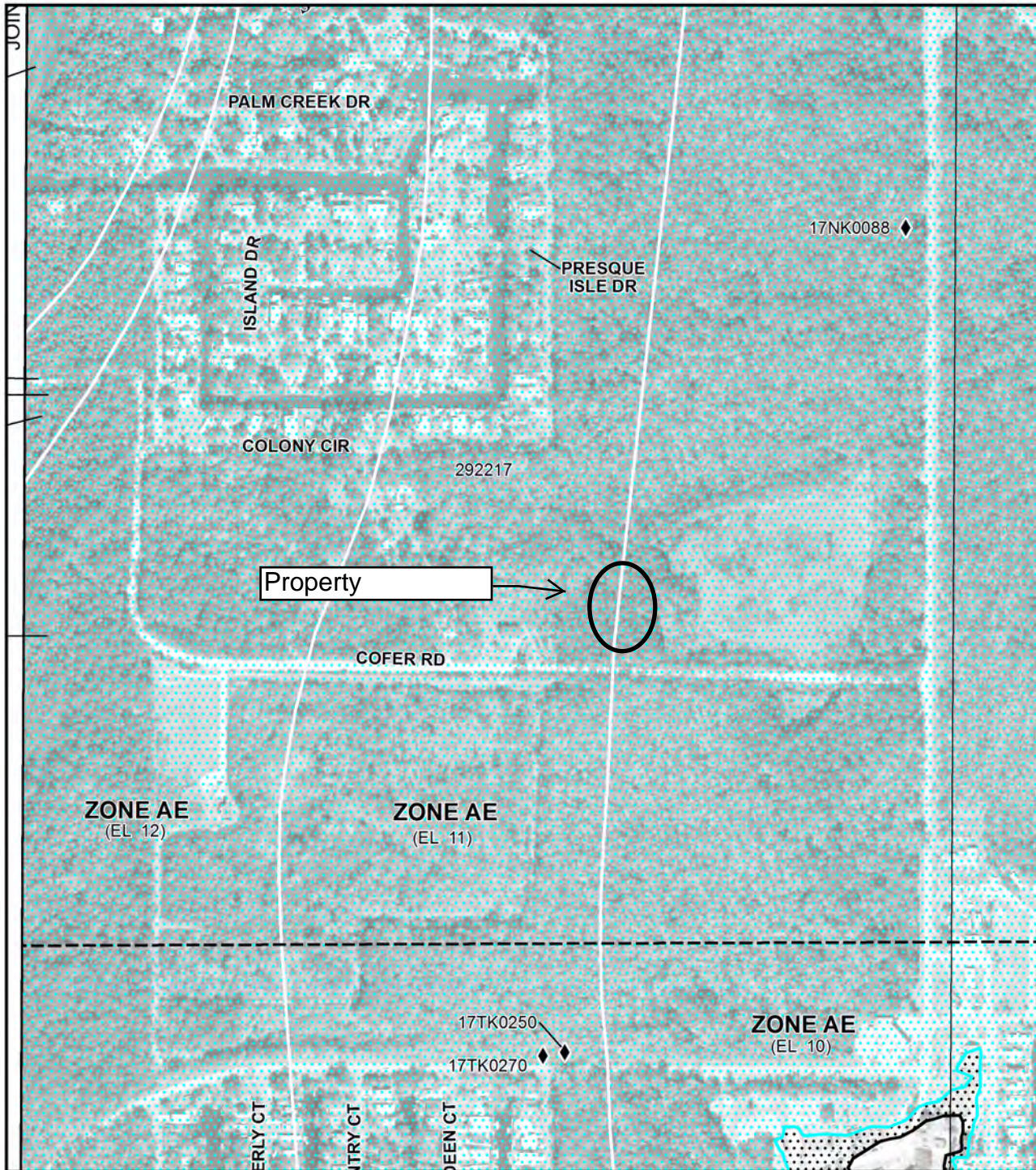
Vertex Development, LLC

Weeki Wachee Gardens

Cofer Road

Weeki Wachee, Florida 34607





MAP SCALE 1" = 500'

0 250 500 750 1,000 FEET

NFIP

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0161D

FIRM

FLOOD INSURANCE RATE MAP

HERNANDO COUNTY, FLORIDA

AND INCORPORATED AREAS

PANEL 161 OF 410

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
HERNANDO COUNTY	120110	0161	D

Notice to User: The **Map Number** shown below should be used when placing map orders; the **Community Number** shown above should be used on insurance applications for the subject community.

MAP NUMBER
12053C0161D

EFFECTIVE DATE
FEBRUARY 2, 2012

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov



U.S. Fish and Wildlife Service

National Wetlands Inventory

Weeki Wachee Gardens

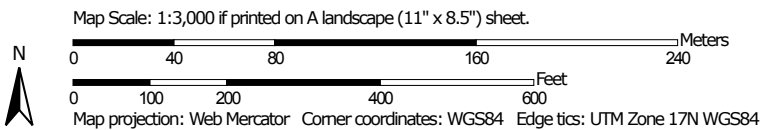


February 1, 2017

- | | | |
|--------------------------------|-----------------------------------|----------|
| Estuarine and Marine Deepwater | Freshwater Forested/Shrub Wetland | Other |
| Estuarine and Marine Wetland | Freshwater Pond | Riverine |
| Freshwater Emergent Wetland | Lake | |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.


Soil Map—Hernando County, Florida
(Weeki Wachee Gardens)




Soil Map—Hernando County, Florida
(Weeki Wachee Gardens)


MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Hernando County, Florida

Survey Area Data: Version 13, Sep 28, 2016

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 29, 2010—Mar 13, 2011

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Hernando County, Florida (FL053)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
18	EauGallie fine sand	4.0	89.9%
42	Pits-Dumps complex	0.5	10.1%
Totals for Area of Interest		4.5	100.0%

U.S. Fish and Wildlife Service
National Wildlife Refuge System Map



North



USFWS – Wildlife Refuge Map

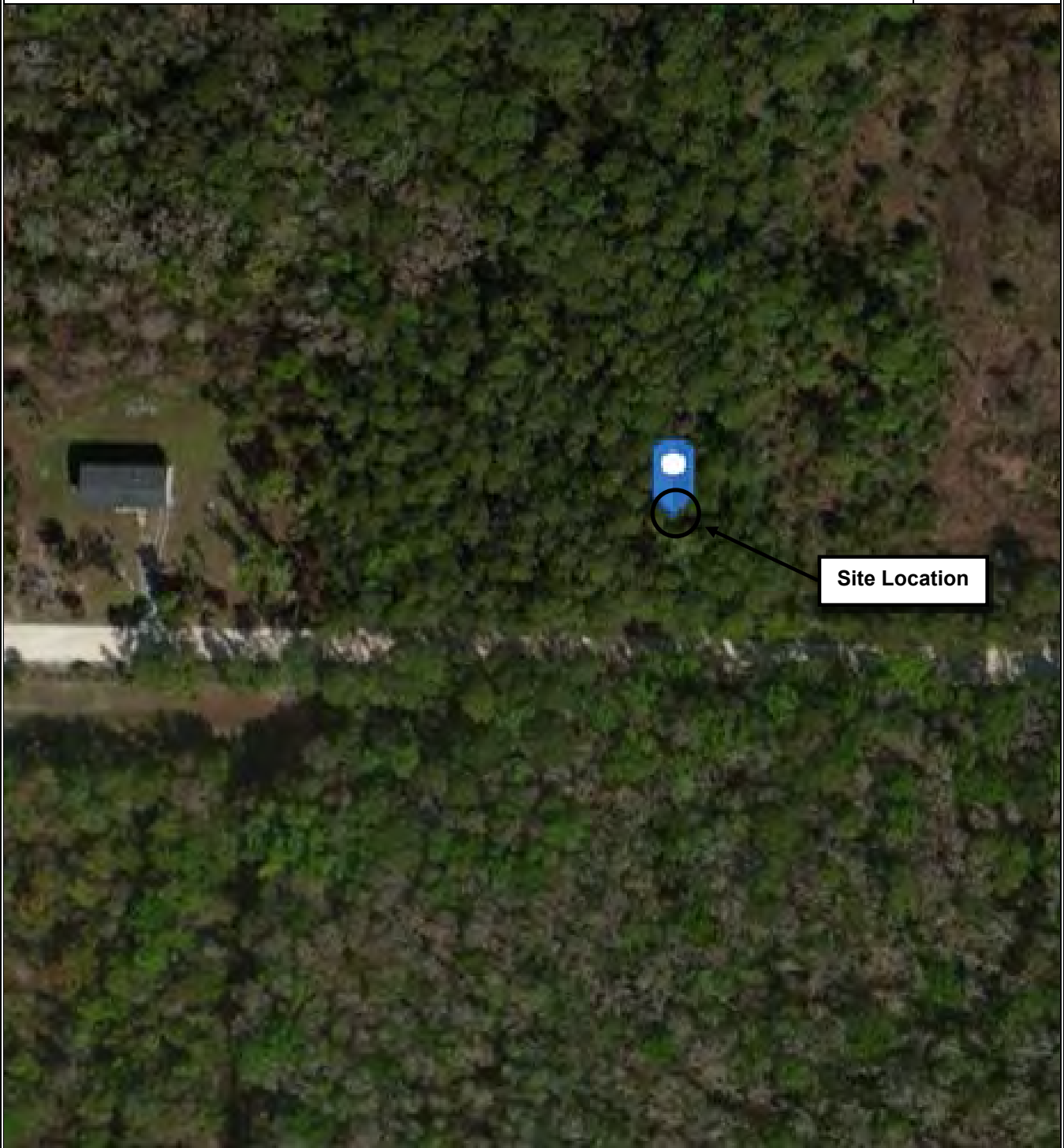
Vertex Development, LLC – Weeki Wachee Gardens
Cofer Road
Weeki Wachee, Florida 34607



U.S. Fish and Wildlife Service
Critical Habitat Map



North



Site Location

USFWS – Critical Habitat Map

Vertex Development, LLC – Weeki Wachee Gardens
Cofer Road
Weeki Wachee, Florida 34607



North American Migration Flyways



North



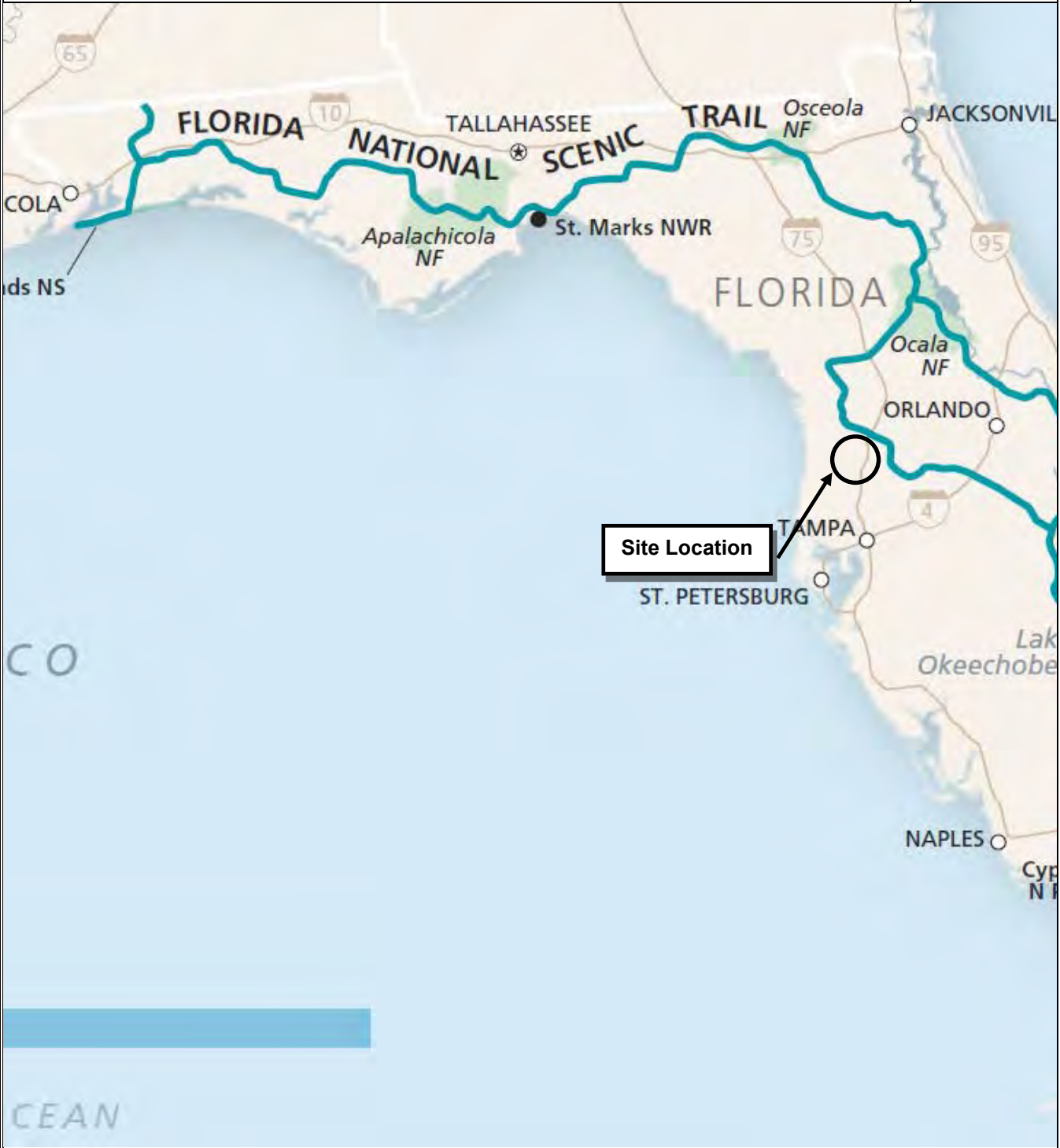
Migratory Bird Flyways – Location Map

Vertex Development, LLC – Weeki Wachee Gardens
Cofer Road
Weeki Wachee, Florida 34607

National Park Service
National Historic Trails and Scenic Routes



North



National Park Service – Trails and Routes Map
Vertex Development, LLC – Weeki Wachee Gardens
Cofer Road
Weeki Wachee, Florida 34607



Bureau of Indian Affairs
Indian Reservation Map



North



Bureau of Indian Affairs – Reservation Map


Vertex Development, LLC – Weeki Wachee Gardens
Cofer Road
Weeki Wachee, Florida 34607

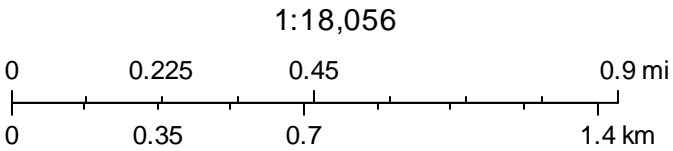


FWC Eagle Nest Locator- Weeki Wachee Gardens

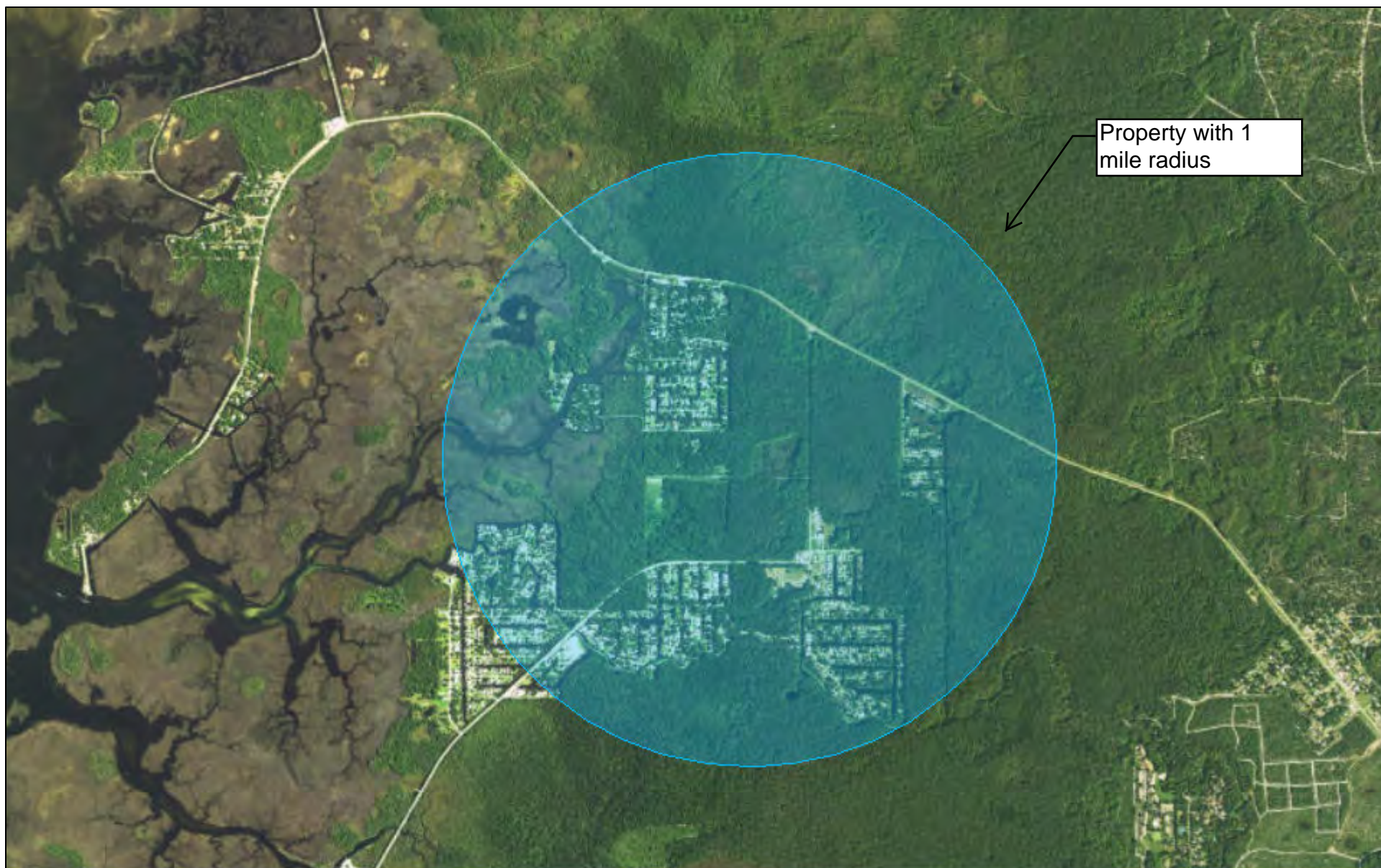


May 12, 2017

 FWC Eagle Nests



FDEP
Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



May 11, 2017

Water Bird Colonies - Florida

- Active
- Inactive
- Not checked

Water Bird Colony Species - 90s

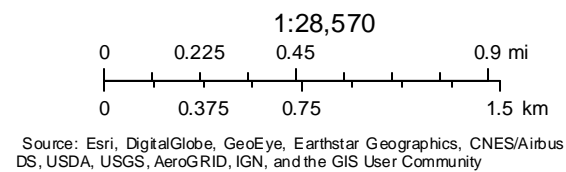
- ★ Active
- ★ Inactive
- ★ Not checked

Water Bird Colony Species - 80s

- ★ Active
- ★ Inactive
- ★ Unknown

Water Bird Colony Species - 70s

- ★ Active
- ★ Unknown



Appendix C
Site Photographs



Site Photograph 1 – Looking north at the Site



Site Photograph 2 – Looking south at the Site

Site Photographs

Vertex Developments, LLC – Weeki Wachee Gardens
Cofer Road
Weeki Wachee, Florida 34607

Photographed:
February 2, 2017



Site Photograph 3 – Looking east at the Site



Site Photograph 4 – Looking west at the Site

Site Photographs

Vertex Developments, LLC – Weeki Wachee Gardens
Cofer Road
Weeki Wachee, Florida 34607

Photographed:
February 2, 2017



Site Photograph 5 – Looking north away from the Site



Site Photograph 6 – Looking south away from the Site

Site Photographs

Vertex Developments, LLC – Weeki Wachee Gardens
Cofer Road
Weeki Wachee, Florida 34607

Photographed:
February 2, 2017



Site Photograph 7 – Looking east away from the Site



Site Photograph 8 – Looking west away from the Site

Site Photographs

Vertex Developments, LLC – Weeki Wachee Gardens
Cofer Road
Weeki Wachee, Florida 34607

Photographed:
February 2, 2017



Site Photograph 9 – Looking east along Cofer Road



Site Photograph 10 – Looking west along Cofer Road

Site Photographs

Vertex Developments, LLC – Weeki Wachee Gardens
Cofer Road
Weeki Wachee, Florida 34607

Photographed:
February 2, 2017

Appendix D

Documentation of Officially Designated
Wilderness Areas, Wildlife Preserves and
Endangered Species

Informal Biological Assessment
Vertex Development, LLC (Vertex)
Weeki Wachee Gardens / Trileaf #615427
Latitude: 28-32-20.79 N; Longitude: 82-37-7.99 W

Trileaf performed an Informal Biological Assessment for the subject site. The purpose is to document whether the proposed undertaking will affect listed or proposed threatened or endangered species, designated critical habitats, wetlands, and migratory birds. A project description, site photographs and topographical site location maps are included in this report.

Proposed Project Description:

The Site is located at Cofer Road, Weeki Wachee, Hernando County, FL 34607, and consists of the construction of a 190-foot Monopole Communications Tower, with a total height of 190 feet including attachments. The proposed tower will be within a 4,900-sqaure-foot lease area. In addition, the project includes an access/utility easement, measuring approximately 20 feet wide extending approximately 104 feet south away from the lease area towards Cofer Road. The proposed tower site is approximately 4 feet above mean sea level.

Site and Surrounding Habitat:

The Site is currently located within an unutilized wooded lot of land. A tree survey was not conducted, however using the provided photographs it is assumed that the trees to be removed are young deciduous and pine trees with an average diameter at breast height (DBH) of 7 inches.

The surrounding habitat within a 0.5 mile radius of the proposed site consists predominantly of wooded land and residences. North of the proposed lease area is wooded land followed by residences and Cortez Boulevard. East of the proposed lease area is wooded followed by Shoal Line Boulevard. South of the proposed lease area is a ditch followed by Cofer Road followed by wooded land. West of the proposed lease area is wooded followed by residences. The current habitat is not mapped as critical habitat, nor does it qualify as sufficient habitat for Federal or State listed species.

Wetlands:

Trileaf has reviewed the topographic map, soil composition, as well as the National Wetlands Inventory Map to determine if the proposed lease area and easements would have an impact on any wetlands or require significant amounts of fill or grading. Trileaf determined that the site is not located in a recognized national wetland area.

On January 20, 2015, Trileaf performed a wetland delineation on behalf of Vertex Development to determine the landward extent of the surrounding wetlands. According to the results, the Property is not located within a wetland, and the nearest wetland at its closest point is located 88 feet east. Using local maps in combination with an area reconnaissance the following water bodies have been identified in the table below:

Water Body Type	Water Body Name	Direction from Tower	Distance from Tower
Freshwater Emergent Wetland	PEM 1F	E	140 feet
Freshwater Forested/Shrub Wetland	PFO1/3C	W	201 feet
Freshwater Forested/Shrub Wetland	PFO6F	S	262 feet
Freshwater Forested/Shrub Wetland	PFO1C	E	0.20 miles

Migratory Birds:

The proposed Site and design process for this project could not conform to all the USFWS recommendations to decrease potential effects on migratory birds. Therefore, it has included mitigating factors such as tower placement within minimally sensitive areas, avoiding placement near wetlands and large water bodies, limiting tower height to 190 feet, and eliminating the need for guy wires or FAA obstruction lighting. Additionally, the proposed Site is not located within a principal migratory bird flyway. Upon our site investigation, it was determined that the project area is not located in an NWI mapped wetland, waterway, wildlife refuge, national wilderness area, native grassland or forest area, ridge-line, mountain top, coastline or area commonly known to have high incidences of fog or low clouds, where migratory birds may be found. Based upon the efforts undertaken during this IBA as well as the current data made available, we have concluded that this project will not have a significant effect on migratory birds; however, the presence of migratory birds cannot be ruled out.

Soils:

According to the U.S. Soil Conservation Service Soil Survey of Hernando County, Florida, the Site is underlain by EauGallie fine sand. EauGallie fine sand soils occur in rises on marine terraces from sandy and loamy marine deposits, and are poorly-drained, with moderately high to high permeability, and moderately high to high water capacity. They do not flood or pond, and consist of fine sand from the surface to 72 inches subsurface followed by fine sandy loam from 72 to 80 inches extending to bedrock. EauGallie fine sand is considered a hydric soil; however, no hydrophytic vegetation or surface water was observed.

Threatened or Endangered Species:

Trileaf has researched the listed or proposed threatened or endangered species and designated critical habitat for the project area. This includes any such species that have been reported to exist within the action area where the project is located. The list of federally threatened or endangered species was acquired through the U.S. Fish and Wildlife Service's Information, Planning, and Consultation system (IPaC) and is broken down by county. The lease area is not located within an aquatic environment; therefore any obligate aquatic species should not be directly impacted by this project and are not included in the table below. A list of remaining species and site observations are summarized in the following table:

Weeki Wachee Gardens

Trileaf# 615427

Species / Resource Name	Federal / State Status	Habitat Description	Recommendation of Effect	Notes / Documentation
Florida Scrub-jay (<i>Aphelocoma coerulescens</i>)	Federal - Threatened	Scrub and scrubby flatwoods of Florida	No effect	Habitat assessment indicated no potential habitat present
Red Knot (<i>Calidris canutus rufa</i>)	Federal- Threatened	Intertidal, marine habitats, especially near coastal inlets, estuaries and bays	No effect	Habitat assessment indicated no potential habitat present
Red-cockaded Woodpecker (<i>Picoides borealis</i>)	Federal- Endangered	Mature pine woodlands, generally longleaf and slash pine	No effect	Habitat assessment indicated no potential habitat present
Wood Stork (<i>Mycteria americana</i>)	Federal- Endangered	Inundated forested wetlands, cypress strands and domes, mixed hardwood swamps, sloughs and mangroves	No effect	Habitat assessment indicated no potential habitat present
Eastern Indigo Snake (<i>Drymarchon corais couperi</i>)	Federal- Threatened	Broad range from scrub and sandhill to wet prairies and mangrove swamps	No effect	Habitat assessment indicated no potential habitat present
Brooksville Bellflower (<i>Campanula robinsiae</i>)	Federal- Endangered	Wet, grassy slopes and drying pond edges in Hernando County	No effect	Habitat assessment indicated no potential habitat present
Cooley's Water-willow (<i>Justicia cooleyi</i>)	Federal- Endangered	Mesic hardwood hammocks over limestone	No effect	Habitat assessment indicated no potential habitat present

Weeki Wachee Gardens

Trileaf# 615427

Conclusions:

Based on the efforts undertaken during our IBA, project specifications and the current data made available, we have concluded that there is no potential for the proposed project to have a significant effect on listed or proposed, threatened and endangered species, their designated critical habitat, or migratory birds.

It should be noted that this informal biological assessment was conducted in accordance with the Scope of Work and does not constitute a Section 7 Biological Assessment under the Endangered Species Act (50 CFR Part 402.01).

A handwritten signature in black ink, reading "Lauren Lanoux". The signature is written in a cursive, flowing style. Below the signature is a horizontal line.

Lauren Lanoux

Natural Resource Specialist



United States Department of the Interior

FISH AND WILDLIFE SERVICE
North Florida Ecological Services Field Office
7915 Baymeadows Way, Suite 200
Jacksonville, FL 32256-7517
Phone: (904) 731-3336 Fax: (904) 731-3045



In Reply Refer To:
Consultation Code: 04EF1000-2017-SLI-0285
Event Code: 04EF1000-2017-E-00333
Project Name: Weeki Wachee Gardens

March 28, 2017

Subject: List of threatened and endangered species that may occur in your proposed project location, and/or may be affected by your proposed project

To Whom It May Concern:

The enclosed species list identifies threatened, endangered, proposed and candidate species, as well as proposed and final designated critical habitat, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. The species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 et seq.).

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC website at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list.

The purpose of the Act is to provide a means whereby threatened and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 et seq.), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect threatened and endangered species and/or designated critical habitat.

A Biological Assessment is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the

human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2)(c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a Biological Assessment be prepared to determine whether the project may affect listed or proposed species and/or designated or proposed critical habitat. Recommended contents of a Biological Assessment are described at 50 CFR 402.12.

If a Federal agency determines, based on the Biological Assessment or biological evaluation, that listed species and/or designated critical habitat may be affected by the proposed project, the agency is required to consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species and proposed critical habitat be addressed within the consultation. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at:

<http://www.fws.gov/endangered/esa-library/pdf/TOC-GLOS.PDF>

Please be aware that bald and golden eagles are protected under the Bald and Golden Eagle Protection Act (16 U.S.C. 668 et seq.), and projects affecting these species may require development of an eagle conservation plan (http://www.fws.gov/windenergy/eagle_guidance.html). Additionally, wind energy projects should follow the wind energy guidelines (<http://www.fws.gov/windenergy/>) for minimizing impacts to migratory birds and bats.

Guidance for minimizing impacts to migratory birds for projects including communications towers (e.g., cellular, digital television, radio, and emergency broadcast) can be found at: <http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/towers.htm>; <http://www.towerkill.com>; and <http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/comtow.html>.

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. Please include the Consultation Tracking Number in the header of this letter with any request for consultation or correspondence about your project that you submit to our office.

Attachment(s):

- Official Species List
 - Migratory Birds
-

Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

North Florida Ecological Services Field Office

7915 Baymeadows Way, Suite 200

Jacksonville, FL 32256-7517

(904) 731-3336

Project Summary

Consultation Code: 04EF1000-2017-SLI-0285

Event Code: 04EF1000-2017-E-00333

Project Name: Weeki Wachee Gardens

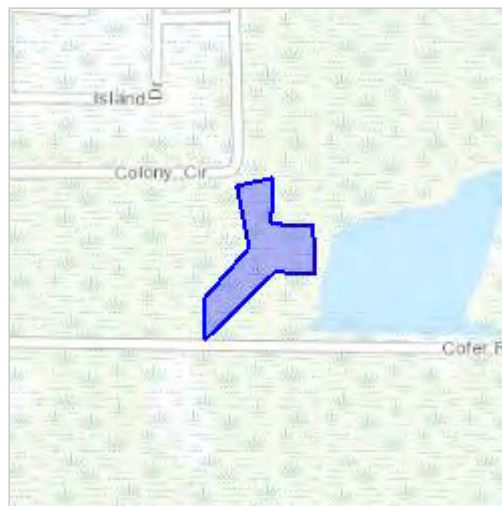
Project Type: COMMUNICATIONS TOWER

Project Description: NEPA

Project Location:

Approximate location of the project can be viewed in Google Maps:

<https://www.google.com/maps/place/28.53978071492176N82.61921349737682W>



Counties: Hernando, FL

Endangered Species Act Species

There is a total of 9 threatened, endangered, or candidate species on your species list. Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species. See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area. Please contact the designated FWS office if you have questions.

Mammals

NAME	STATUS
West Indian Manatee (<i>Trichechus manatus</i>) There is a final critical habitat designated for this species. Your location is outside the designated critical habitat. Species profile: https://ecos.fws.gov/ecp/species/4469	Endangered

Birds

NAME	STATUS
Florida Scrub-jay (<i>Aphelocoma coerulescens</i>) No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/6174	Threatened
Red Knot (<i>Calidris canutus rufa</i>) No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/1864	Threatened
Red-cockaded Woodpecker (<i>Picoides borealis</i>) No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/7614	Endangered
Wood Stork (<i>Mycteria americana</i>) Population: AL, FL, GA, MS, NC, SC No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/8477	Threatened

Reptiles

NAME	STATUS
Eastern Indigo Snake (<i>Drymarchon corais couperi</i>) No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/646	Threatened

Fishes

NAME	STATUS
Atlantic Sturgeon (gulf Subspecies) (<i>Acipenser oxyrinchus</i> (=oxyrhynchus) <i>desotoi</i>) There is a final critical habitat designated for this species. Your location is outside the designated critical habitat. Species profile: https://ecos.fws.gov/ecp/species/651	Threatened

Flowering Plants

NAME

STATUS

Brooksville Bellflower (*Campanula robinsiae*)

Endangered

No critical habitat has been designated for this species.

Species profile: <https://ecos.fws.gov/ecp/species/5809>

Cooley's Water-willow (*Justicia cooleyi*)

Endangered

No critical habitat has been designated for this species.

Species profile: <https://ecos.fws.gov/ecp/species/4653>

Critical habitats

There are no critical habitats within your project area.

Migratory Birds

Certain birds are protected under the Migratory Bird Treaty Act¹ and the Bald and Golden Eagle Protection Act².

Any activity that results in the take of migratory birds or eagles is prohibited unless authorized by the U.S. Fish and Wildlife Service³. There are no provisions for allowing the take of migratory birds that are unintentionally killed or injured.

Any person or organization who plans or conducts activities that may result in the take of migratory birds is responsible for complying with the appropriate regulations and implementing appropriate conservation measures.

-
1. The [Migratory Birds Treaty Act](#) of 1918.
 2. The [Bald and Golden Eagle Protection Act](#) of 1940.
 3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

The migratory birds species listed below are species of particular conservation concern (e.g. [Birds of Conservation Concern](#)) that may be potentially affected by activities in this location. It is not a list of every bird species you may find in this location, nor a guarantee that all of the bird species on this list will be found on or near this location. Although it is important to try to avoid and minimize impacts to all birds, special attention should be made to avoid and minimize impacts to birds of priority concern. To view available data on other bird species that may occur in your project area, please visit the [AKN Histogram Tools](#) and [Other Bird Data Resources](#). To fully determine any potential effects to species, additional site-specific and project-specific information is often required.

NAME	SEASON(S)
American Kestrel (<i>Falco sparverius paulus</i>)	On Land: Year-round
Brown-headed Nuthatch (<i>Sitta pusilla</i>)	On Land: Year-round
Common Ground-dove (<i>Columbina passerina exigua</i>)	On Land: Year-round
Least Bittern (<i>Ixobrychus exilis</i>) https://ecos.fws.gov/ecp/species/6175	On Land: Breeding
Rusty Blackbird (<i>Euphagus carolinus</i>)	On Land: Wintering
Swainson's Warbler (<i>Limnothlypis swainsonii</i>)	On Land: Migrating
Worm Eating Warbler (<i>Helmintheros vermivorum</i>)	On Land: Migrating
Brown Booby (<i>Sula leucogaster</i>)	On Land: Wintering

American Bittern (<i>Botaurus lentiginosus</i>) https://ecos.fws.gov/ecp/species/6582	On Land: Wintering
American Oystercatcher (<i>Haematopus palliatus</i>) https://ecos.fws.gov/ecp/species/8935	On Land: Year-round
Chuck-will's-widow (<i>Caprimulgus carolinensis</i>)	On Land: Breeding
Bachman's Sparrow (<i>Aimophila aestivalis</i>) https://ecos.fws.gov/ecp/species/6177	On Land: Year-round
Seaside Sparrow (<i>Ammodramus maritimus</i>)	On Land: Year-round
Henslow's Sparrow (<i>Ammodramus henslowii</i>) https://ecos.fws.gov/ecp/species/3941	On Land: Wintering
Limpkin (<i>Aramus guarauna</i>)	On Land: Year-round
Nelson's Sparrow (<i>Ammodramus nelsoni</i>)	On Land: Wintering
Prairie Warbler (<i>Dendroica discolor</i>)	On Land: Year-round
Prothonotary Warbler (<i>Protonotaria citrea</i>)	On Land: Breeding
Reddish Egret (<i>Egretta rufescens</i>) https://ecos.fws.gov/ecp/species/7617	On Land: Year-round
Wilson's Plover (<i>Charadrius wilsonia</i>)	On Land: Breeding
Swallow-tailed Kite (<i>Elanoides forficatus</i>) https://ecos.fws.gov/ecp/species/8938	On Land: Breeding
Red-headed Woodpecker (<i>Melanerpes erythrocephalus</i>)	On Land: Year-round
Red Knot (<i>Calidris canutus rufa</i>) https://ecos.fws.gov/ecp/species/1864	On Land: Wintering
Bald Eagle (<i>Haliaeetus leucocephalus</i>) https://ecos.fws.gov/ecp/species/1626	On Land: Year-round
Black Rail (<i>Laterallus jamaicensis</i>) https://ecos.fws.gov/ecp/species/7717	On Land: Breeding
Black Skimmer (<i>Rynchops niger</i>) https://ecos.fws.gov/ecp/species/5234	On Land: Year-round
Gull-billed Tern (<i>Gelochelidon nilotica</i>) https://ecos.fws.gov/ecp/species/9501	On Land: Year-round

Lesser Yellowlegs (<i>Tringa flavipes</i>) https://ecos.fws.gov/ecp/species/9679	On Land: Wintering
Loggerhead Shrike (<i>Lanius ludovicianus</i>) https://ecos.fws.gov/ecp/species/8833	On Land: Year-round
Long-billed Curlew (<i>Numenius americanus</i>) https://ecos.fws.gov/ecp/species/5511	On Land: Wintering
Marbled Godwit (<i>Limosa fedoa</i>) https://ecos.fws.gov/ecp/species/9481	On Land: Wintering
Peregrine Falcon (<i>Falco peregrinus</i>) https://ecos.fws.gov/ecp/species/8831	On Land: Wintering
Short-billed Dowitcher (<i>Limnodromus griseus</i>) https://ecos.fws.gov/ecp/species/9480	On Land: Wintering
Short-eared Owl (<i>Asio flammeus</i>) https://ecos.fws.gov/ecp/species/9295	On Land: Wintering
Whimbrel (<i>Numenius phaeopus</i>) https://ecos.fws.gov/ecp/species/9483	On Land: Wintering
Yellow Rail (<i>Coturnicops noveboracensis</i>) https://ecos.fws.gov/ecp/species/9476	On Land: Wintering
Least Tern (<i>Sterna antillarum</i>)	On Land: Breeding

Additional information can be found using the following links:

- Birds of Conservation Concern <http://www.fws.gov/birds/management/managed-species/birds-of-conservation-concern.php>
 - Conservation measures for birds
<http://www.fws.gov/birds/management/project-assessment-tools-and-guidance/conservation-measures.php>
 - Year-round bird occurrence data
<http://www.birdscanada.org/birdmon/default/datasummaries.jsp>
-



United States Department of the Interior

U. S. FISH AND WILDLIFE SERVICE

7915 BAYMEADOWS WAY, SUITE 200
JACKSONVILLE, FLORIDA 32256-7517

IN REPLY REFER TO:

USFWS Clearance to Proceed with Communication Tower Projects

Revised and Updated: July 15, 2016

Background

The U.S. Fish and Wildlife Service is the lead Federal Agency charged with the protection and conservation of Federal Trust Resources, such as threatened and endangered species and migratory birds, in accordance with section 7 of the Endangered Species Act of 1973, as amended (ESA)(87 Stat. 884; 16 U.S.C. 1531et seq.), the Bald and Golden Eagle Protection Act (Eagle Act)(16 U.S.C. 668-668d), and the Migratory Bird Treaty Act (40 Stat. 755; 16 U.S.C. 701et seq.). Included in this mandate is the review of projects involving communication towers. The Federal Communications Commission (FCC) authorizes such projects, and as part of its authorization and obligations under the ESA and National Environmental Policy Act (NEPA), requires a project environmental impact review. Such projects primarily involve new tower construction, co-location of antennas on existing communication towers or other structures, and the repair, maintenance or relicensing of existing structures.

With the recent and continuing advances in cellular communication technology, and resulting widespread consumer demand for this service, the North Florida Ecological Services Field Office has experienced a significant increase in the number of requests for review of these projects. To fulfill our ESA statutory obligations in a timely and consistent manner, and to assist communication companies in addressing FCC and NEPA environmental impact review requirements, we provide the following guidance and clearance. The guidance is largely based on the *Revised Voluntary Guidelines for Communication Tower Design, Siting, Construction, Operation, Retrofitting, and Decommissioning* guidance letter from the Division of Migratory Bird Management. This document is posted on our national web site, and may be reviewed and downloaded by accessing: <http://go.usa.gov/xC4c3>.

Federally Listed Species Assessment

For new tower construction and related activities, applicants are responsible for conducting an initial assessment and possible site survey to determine if any federally listed species occur within, or in proximity to, the project footprint.

Our office web site, <http://www.fws.gov/northflorida> contains information on such species, including the location of wood stork (*Mycteria americana*) nesting colonies, as well as survey protocols for scrub-jays (*Aphelocoma coerulescens*) and sand skinks (*Neoseps reynoldsi*).

Information on known bald eagle (*Haliaeetus leucocephalus*) nests is available via a link on our web site or through <http://myfwc.com/wildlifehabitats/managedlbald-eagle/>.

For projects located in suitable nesting or foraging habitat for the red-cockaded woodpecker (*Picoides borealis*) that are on public lands, contact the land owner/manager for location information. On private lands, go to http://www.fws.gov/rcwrecovery/recovery_plan.html for the survey protocol.

To further assist you with project analysis, we recommend that you consult the following additional electronic sources of information.

- The Federal Communications Commission memo regarding reducing bird collisions with communications towers and reducing lighting costs (http://wireless.fcc.gov/migratory-birds/Light_Changes_Information_Update_120415.pdf);
- The Florida Natural Areas Inventory website provides information on major feeding sites and congregations of large numbers of migratory and resident birds (<http://www.fnai.org/>);
- The Service's migratory bird website provides useful information concerning migratory birds, and for bald eagles - the National Bald Eagle Management Guidelines (<http://www.fws.gov/migratorybirds>); and
- Locations of wading bird breeding colonies (see Waterbird Colony Locator) can be obtained at <http://myfwc.com/research/wildlife/>.

If the site assessment and/or survey results show listed species are present within the project footprint, the project should be forwarded to our office (jaxregs@fws.gov) for further evaluation and possible consultation.

Project Design & Maintenance

If an assessment or survey does not detect federally-listed species within the project footprint, we have determined that the following types of projects and project specifications are not likely to adversely affect listed species and/or not likely to have significant adverse impacts on migratory birds. **For projects that meet the criteria listed below, NO further coordination with the Service is necessary.** This guidance may also be used as a general clearance for all future projects meeting these criteria.

1. The construction of lattice or monopole design communication towers less than 200 feet in total height that do not contain guy wires. The tower must be located in previously disturbed, urbanized or developed areas or areas that do not represent potential habitat for federally listed species. In addition, the tower must be located at least 2500 feet from any known active wood stork or other wading bird colony.

2. The construction of lattice, monopole, or guyed communication towers between 200 and 400 feet tall, located as (a) above, and in the case of guyed towers, they are equipped with bird diverter devices. All towers should be lighted with a white or red strobe light operating at the minimum allowable intensity. This type of lighting is far less attractive to migratory birds than continuous or pulsating, incandescent red or white lights, regardless of their intensity or frequency or duration of pulsation. The same provisions in (a) regarding bald eagle nests and wood stork and other wading bird breeding colonies applies.
3. The co-location of a new antenna on an existing communication tower or mounting of a new antenna on an existing structure (e.g., light pole, billboard, water tower, building). Such work shall not increase the tower height above 400 feet, require the construction of a new access road, nor result in the additional disturbance of the site; and
4. The repair, maintenance, or replacement of an existing communication tower, provided that the activity does not increase the height of the tower above 400 feet or increase its footprint into natural vegetative communities, and is conducted outside of the October 1-May 15 nesting season of any bald eagle nesting on the structure.

Please Note: The bald eagle was removed from the protections of the ESA (delisted) in August 2007; however, a final rule that implements a permit program designed to protect bald and golden eagle populations in the future was published in the *Federal Register* on September 11, 2009. These final regulations authorize the limited take of bald and golden eagles through the issuance of permits under the Eagle Act where the take to be authorized is associated with otherwise lawful activities. These regulations also establish permit provisions for intentional take of eagle nests where necessary to ensure public health and safety, and in other limited circumstances. Please refer to the following website link for more information and application procedures: <http://www.fws.gov/migratorybirds/baldeagle.htm>.

Please Note: Ospreys (*Pandion haliaetus*) frequently nest on communication towers, and the nesting in Florida may extend throughout all months of the year. Confirmed nests that are inactive (no eggs or young in nesting) have no special protections under the Migratory Bird Treaty Act, and although nest removal is allowed, we recommend nest removal only be undertaken if there are no alternative to the required work. Where the proposed work is associated with an existing tower supporting an active osprey nest, refer to our national migratory bird website, and/or contact our Southeastern Regional Division of Migratory Birds in Atlanta, GA, at (404) 679-7049 or at <http://www.fws.gov/southeast/BIRDS/> for further guidance prior to any work.

For existing towers that do **not** include any modification, footprint expansion or construction, **and** meet the criteria below, **no** further coordination with the Service is necessary. This includes those projects for relicensing of existing towers. Therefore, this guidance may also be used as a general clearance for all existing projects meeting these criteria.

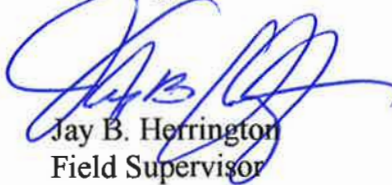
1. The existing lattice or monopole design communication towers less than 200 feet in total height and do not contain guy wires.
2. The existing lattice communication towers or guyed communications towers between 200 and 400 feet tall, provided the guy wires are equipped with bird diverter devices and the tower is lighted with white strobe lights with the maximum off period between flashes (3 seconds is current maximum allowable). This type of lighting is far less attractive to migratory birds than continuous or pulsating, incandescent red or white lights, regardless of their intensity or frequency or duration of pulsation.

For those projects that do not meet these criteria, our only available recommendations are:

1. Reduce the height of the tower,
2. Light the tower with a white or red strobe light operating at the minimum allowable intensity: as noted in item 2 above.

Our agency appreciates your cooperation in the protection of Federally-listed species in Florida.

Sincerely,



Jay B. Herrington
Field Supervisor

Appendix E
Section 106 Review

General Information

1) (Select only one) (NE)

NE – New	UA – Update of Application	WD – Withdrawal of Application
2) If this application is for an Update or Withdrawal, enter the file number of the pending application currently on file.		File Number:

Applicant Information

3) FCC Registration Number (FRN):
4) Name: Vertex Development, LLC

Contact Name

5) First Name: Doug	6) MI:	7) Last Name: Butler	8) Suffix:
9) Title: Project Manager			

Contact Information

10) P.O. Box:	And /Or	11) Street Address: 1051 Winderley Place, Suite 201	
12) City: Maitland		13) State: FL	14) Zip Code: 32751
15) Telephone Number: (407) 660-7840		16) Fax Number: (407) 660 - 7394	
17) E-mail Address: D.Butler@trileaf.com			

Consultant Information

18) FCC Registration Number (FRN): 0022286454
19) Name: Stone Point Services, LLC

Principal Investigator

20) First Name: Todd	21) MI:	22) Last Name: McMakin	23) Suffix:
24) Title: Principal Investigator			

Principal Investigator Contact Information

25) P.O. Box:	And /Or	26) Street Address: 11827 County Road 41	
27) City: Tyler		28) State: TX	29) Zip Code: 75706
30) Telephone Number: (903) 952-3819		31) Fax Number: ()	
32) E-mail Address: todd@stonepointservices.com			

Professional Qualification

33) Does the Principal Investigator satisfy the Secretary of the Interior's Professional Qualification Standards?	(X) <u>Y</u> es () <u>N</u> o
34) Areas of Professional Qualification: (X) Archaeologist () Architectural Historian () Historian () Architect () Other (Specify) _____	

Additional Staff

35) Are there other staff involved who meet the Professional Qualification Standards of the Secretary of the Interior?	(X) <u>Y</u> es () <u>N</u> o
--	--------------------------------

If "Yes", complete the following:

36) First Name: <u>Andres</u>	37) MI: _____	38) Last Name: <u>Garzon-Oechsle</u>	39) Suffix:
40) Title: <u>Archaeologist</u>			
41) Areas of Professional Qualification: (X) Archaeologist () Architectural Historian () Historian () Architect () Other (Specify) _____			

This page may be copied to include additional staff.**Consultant Information Attachments required – See instructions for details.**

If "Yes", complete the following:

36) First Name: <u>David</u>	37) MI: _____	38) Last Name: <u>Macias</u>	39) Suffix:
40) Title: <u>Archaeologist</u>			
41) Areas of Professional Qualification: (X) Archaeologist () Architectural Historian () Historian () Architect () Other (Specify) _____			

This page may be copied to include additional staff.**Consultant Information Attachments required – See instructions for details.**

Site Information

Tower Construction Notification System

1) TCNS Notification Number: 151259

Site Information

2) Site Name: Weeki Wachee Gardens FL-5197

3) Site Address: North of Cofer Road and West of Shoal Line Boulevard

4) City: Weeki Wachee

5) State: FL

6) Zip Code:

7) County/Borough/Parish: Hernando

8) Nearest Crossroads: Cofer Road and Shoal Line Boulevard

9) **NAD 83** Latitude (DD-MM-SS.S): 28-32-20.79

(X) **N** or () **S**

10) **NAD 83** Longitude (DD-MM-SS.S): 82-37-07.99

() **E** or (x) **W**

Tower Information

11) Tower height above ground level (include top-mounted attachments such as lightning rods): 190

(X) Feet () Meters

12) Tower Type (Select One):

() Guyed lattice tower

() Self-supporting lattice

(X) Monopole

() Other (Describe):

Project Status

13) Current Project Status (Select One):

(X) Construction has not yet commenced

() Construction has commenced, but is not completed

Construction commenced on: ____/____/____

() Construction has been completed

Construction commenced on: ____/____/____

Construction completed on: ____/____/____

Site Information Attachments required – See instructions for details.

Determination of Effect

14) Direct Effects (Select One):

☒ No Historic Properties in Area of Potential Effects (APE)

☐ No Effect on Historic Properties in APE

☐ No Adverse Effect on Historic Properties in APE

☐ Adverse Effect on one or more Historic Properties in APE

15) Visual Effects (Select One):

☒ No Historic Properties in Area of Potential Effects (APE)

☐ No Effect on Historic Properties in APE

☐ No Adverse Effect on Historic Properties in APE

☐ Adverse Effect on one or more Historic Properties in APE

Determination of Effect Attachments required – See instructions for details.

Tribal/NHO Involvement

1) Have Indian Tribes or Native Hawaiian Organizations (NHOs) been identified that may attach religious and cultural significance to historic properties which may be affected by the undertaking within the APEs for direct and visual effects?		(<input checked="" type="checkbox"/>) Yes (<input type="checkbox"/>) No
2a) Tribes/NHOs contacted through TCNS Notification Number: <u>151259</u>		Number of Tribes/NHOs: <u>7</u>
2b) Tribes/NHOs contacted through an alternate system: _____		Number of Tribes/NHOs: _____

Tribal/NHO Contacted Through TCNS

3) Tribe/NHO FRN:
4) Tribe/NHO Name: Coushatta Indian Tribe- Elton, LA

Contact Name

5) First Name: Linda	6) MI: P	7) Last Name: Langley	8) Suffix:
9) Title: THPO			

Dates & Response

10) Date Contacted <u>02/03/2017</u>	11) Date Replied _____ / _____ / _____
(X) No Reply	
() Replied/No Interest	
() Replied/Have Interest	
() Replied/Other _____	

Tribal/NHO Contacted Through TCNS

3) Tribe/NHO FRN:
4) Tribe/NHO Name: Miccosukee Tribe of Indians of Florida- Miami, FL

Contact Name

5) First Name: Fred	6) MI:	7) Last Name: Dayhoff	8) Suffix:
9) Title: NAGPRA & Section 106 Representative			

Dates & Response

10) Date Contacted <u>02/03/2017</u>	11) Date Replied _____ / _____ / _____
(X) No Reply	
() Replied/No Interest	
() Replied/Have Interest	
() Replied/Other _____	

Tribe/NHO Contacted Through TCNS

3) Tribe/NHO FRN:
4) Tribe/NHO Name: Seminole Tribe of Florida- Clewiston, FL

Contact Name

5) First Name: Bradley	6) MI: M	7) Last Name: Mueller	8) Suffix:
9) Title: Compliance Review Supervisor			

Dates & Response

10) Date Contacted <u>02/03/2017</u>	11) Date Replied ____ / ____ / ____
(X) No Reply	
() Replied/No Interest	
() Replied/Have Interest	
() Replied/Other ____	

Tribe/NHO Contacted Through TCNS

3) Tribe/NHO FRN:
4) Tribe/NHO Name: Seminole Nation of Oklahoma- Wewoka, OK

Contact Name

5) First Name: Theodore	6) MI:	7) Last Name: Isham	8) Suffix:
9) Title: Historic Preservation Officer			

Dates & Response

10) Date Contacted <u>02/03/2017</u>	11) Date Replied ____ / ____ / ____
(X) No Reply	
() Replied/No Interest	
() Replied/Have Interest	
() Replied/Other ____	

Tribe/NHO Contacted Through TCNS

3) Tribe/NHO FRN:
4) Tribe/NHO Name: Muscogee (Creek) Nation- Okmulgee, OK

Contact Name

5) First Name: Anne	6) MI:	7) Last Name: Edwards-Martel	8) Suffix:
9) Title: TCNS Coordinator			

Dates & Response

10) Date Contacted <u>02/03/2017</u>	11) Date Replied ____ / ____ / ____
(X) No Reply	
() Replied/No Interest	
() Replied/Have Interest	

Tribe/NHO Contacted Through TCNS

3) Tribe/NHO FRN:
4) Tribe/NHO Name: Eastern Shawnee Tribe of Oklahoma- Wyandotte, OK

Contact Name

5) First Name: Travis	6) MI:	7) Last Name: Patton	8) Suffix:
9) Title: TCNS Coordinator			

Dates & Response

10) Date Contacted <u>02/03/2017</u>	11) Date Replied ____ / ____ / ____
(X) No Reply	
() Replied/No Interest	
() Replied/Have Interest	
() Replied/Other ____	

Tribe/NHO Contacted Through TCNS

3) Tribe/NHO FRN:

4) Tribe/NHO Name: Thlopthlocco Tribal Town- Okemah, OK

Contact Name

5) First Name: Emman

6) MI:

7) Last Name: Spain

8) Suffix:

9) Title: THPO

Dates & Response10) Date Contacted 02/03/2017

11) Date Replied ____ / ____ / ____

☒ (X) No Reply☐ () Replied/No Interest☐ () Replied/Have Interest☐ () Replied/Other _____

Historic Properties

Properties Identified

1) Have any historic properties been identified within the APEs for direct and visual effect?	() <u>Y</u> es (X) <u>N</u> o
2) Has the identification process located archaeological materials that would be directly affected, or sites that are of cultural or religious significance to Tribes/NHOs?	() <u>Y</u> es (X) <u>N</u> o
3) Are there more than 10 historic properties within the APEs for direct and visual effect? If "Yes", you are required to attach a Cultural Resources Report in lieu of adding the Historic Property below.	() <u>Y</u> es (X) <u>N</u> o

Historic Property

4) Property Name:
5) SHPO Site Number:

Property Address

6) Street Address:		
7) City:	8) State:	9) Zip Code:
10) County/Borough/Parish:		

Status & Eligibility

11) Is this property listed on the National Register? Source: _____	() <u>Y</u> es () <u>N</u> o
12) Is this property eligible for listing on the National Register? Source: _____	() <u>Y</u> es () <u>N</u> o
13) Is this property a National Historic Landmark?	() <u>Y</u> es () <u>N</u> o

14) Direct Effects (Select One): () No Effect on this Historic Property in APE () No Adverse Effect on this Historic Property in APE () Adverse Effect on this Historic Property in APE
15) Visual Effects (Select One): () No Effect on this Historic Property in APE () No Adverse Effect on this Historic Property in APE () Adverse Effect on this Historic Property in APE

This page may be copied to include additional Historic Properties.
Historic Property Attachments required – See instructions for details.

Local Government Involvement

Local Government Agency

1) FCC Registration Number (FRN):
2) Name: Hernando Planning Department

Contact Name

3) First Name:	4) MI:	5) Last Name:	6) Suffix:
7) Title:			

Contact Information

8) P.O. Box:	And /Or	9) Street Address: 20 N. Main Street, Room 262	
10) City: Brooksville		11) State: FL	12) Zip Code: 34601
13) Telephone Number: (352)754-4057		14) Fax Number: ()	
15) E-mail Address:			
16) Preferred means of communication: () E-mail (X) Letter () Both			

Dates & Response

17) Date Contacted <u>02/ 07/ 2017</u>	18) Date Replied ____ / ____ / ____
(X) No Reply	
() Replied/No Interest	
() Replied/Have Interest	
() Replied/Other ____	

Additional Information

19) Information on local government's role or interest (optional):
--

This page may be copied to include additional local government agencies.
Local Government Attachments required – See instructions for details.

Other Consulting Parties

Other Consulting Parties Contacted

1) Has any other agency been contacted and invited to become a consulting party?	() <u>Y</u> es (X) <u>N</u> o
--	------------------------------------

Consulting Party

2) FCC Registration Number (FRN):
3) Name:

Contact Name

4) First Name:	5) MI:	6) Last Name:	7) Suffix:
8) Title:			

Contact Information

9) P.O. Box:	And /Or	10) Street Address:	
11) City:		12) State:	13) Zip Code:
14) Telephone Number: ()		15) Fax Number: ()	
16) E-mail Address:			
17) Preferred means of communication: () E-mail () Letter () Both			

Dates & Response

18) Date Contacted ____ / ____ / ____	19) Date Replied ____ / ____ / ____
() No Reply	
() Replied/No Interest	
() Replied/Have Interest	
() Replied/Other ____	

Additional Information

20) Information on other consulting parties' role or interest (optional):

This page may be copied to include additional consulting parties.
Consulting Parties Attachments required – See instructions for details.

Designation of SHPO/THPO

1) Designate the Lead State Historic Preservation Officer (SHPO) or Tribal Historic Preservation Officer (THPO) based on the location of the tower.

SHPO/THPO

Name: Florida Division of Historic Resources

2) You may also designate up to three additional SHPOs/THPOs if the APEs include multiple states. If the APEs include other countries, enter the name of the National Historic Preservation Agency and any state and provincial Historic Preservation Agency.

SHPO/THPO Name: _____

SHPO/THPO Name: _____

SHPO/THPO Name: _____

Designation of SHPO/THPO Attachments may be required – See instructions for details.

Certification

I certify that all representations on this FCC Form 620 Submission Packet and the accompanying attachments are true, correct, and complete.

Party Authorized to Sign

First Name: Todd

MI: A

Last Name: McMakin

Suffix:

Signature:



Date:

02/16/2017

FAILURE TO SIGN THIS APPLICATION MAY RESULT IN DISMISSAL OF THE APPLICATION AND FORFEITURE OF ANY FEES PAID.

WILLFUL FALSE STATEMENTS MADE ON THIS FORM OR ANY ATTACHMENTS ARE PUNISHABLE BY FINE AND/OR IMPRISONMENT (U.S. Code, Title 18, Section 1001) AND/OR REVOCATION OF ANY STATION LICENSE OR CONSTRUCTION PERMIT (U.S. Code, Title 47, Section 312(a)(1)), AND/OR FORFEITURE (U.S. Code, Title 47, Section 503).

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Public burden estimates

Attachment 1. Consultant Information

Provide a current copy of the resume or curriculum vitae for the Principal Investigator and any researcher or other person who contributed to, reviewed, or provided significant input into the research, analysis, writing or conclusions presented in this filing.

A current copy of the resume for the Principal Investigator and any researcher or other person who contributed to, reviewed, or provided significant input into the research, analysis, writing or conclusions presented in this filing.

Applicant's Name: Vertex Development, LLC
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Project Number: 615427
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Todd McMakin

Short Curriculum Vita

EDUCATIONAL BACKGROUND

1987 - 1991 B.S., College of Charleston (Charleston, SC) Major: Anthropology
1991 - 1995 M.A., University of Southern Mississippi (Hattiesburg, MS) Major: Anthropology

SELECT EXPERIENCE

January 2012 - Present

Stone Point Services, LLC: Owner, Principal Investigator, and Senior Archaeologist

July 2011 - December 2011

S&ME, Inc. and Benchmark Environmental Consultants, Inc.: Principal Investigator and Senior Archaeologist

October 1998 – July 2011

Texas Parks and Wildlife Department: Cultural Resources Specialist – Tyler, Texas

February 1995 – October 1998

Archaeologist/Project Manager/Principal Investigator, Brockington and Associates, Inc., South Carolina

August 1993 - January 1995

Project Manager, Earth Search, Inc., New Orleans, Louisiana

CERTIFICATION AND AWARD

Register of Professional Archaeologists (RPA)

Award of Merit in Archeology. Presented by the Texas State Historic Preservation Office (SHPO)

RECENT EXPERIENCE

2012 *Archeological Survey of the Maxwell #2H Well Pad, Access Road, and Pipeline, Panola County, Texas.*
2012 *Archeological Survey of the Abbey Road #1 Well Pad, Access Road, and Pond, Houston County, Texas.*
2012 *Archeological Survey of the Bisons DU #1H Well Pad and Access Road, San Augustine County, Texas.*
2012 *Archeological Survey of the Navo Road Cell Tower Pad and Access Road, Denton County, Texas.*

2012 Desktop Environmental Mapping Projects (published under various authors) for Whittenton Group, Inc.

2013 *Archeological Survey of the Vera Black #12H Well Pad and Access Road, Panola County, TX.*

2013 *Cultural Resources Assessment for a Cell Tower at the Snider Plaza Location, Dallas, TX.*

2013 *Cultural Resources Background Assessment for a Cell Tower, Collier County, FL.*

2010-2014 Various Cellular antennae surveys in Florida, Louisiana, South Carolina, Alabama, Texas, New Mexico, and Oklahoma.

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David Macias

Archaeologist (author)

EDUCATIONAL BACKGROUND

- **2001 - 2006** B.A., Winthrop University (Rock Hill, SC) Major: Sociology
- **2008 - 2009** B.A., University of South Carolina (Columbia, SC) Major: Anthropology
- **2010 – 2013** M.A., Texas State University (San Marcos, TX) Major: Anthropology

SELECT EXPERIENCE

July 2016 - Present

Stone Point Services, LLC: Field Archaeologist

March 2015 – May 2016

AR Consultants, Inc.: Field Technician, Richardson, TX.

July 2014 – August 2014

Center for Archaeological Studies, Texas State University: Field Technican, San Marcos, TX

August 2008 – June 2010

University of South Carolina, Rare Books and Special Collections: Temporary Staff, Columbia, SC

RECENT EXPERIENCE

2016	Various cellular antennae surveys in Texas, Mississippi, and Louisiana.
2014	Center for Archaeological Studies, Texas State University: , Temporary staff.
2011	University of Texas San Antonio: Mopan Valley Prehistoric Project. Xunantunich, Belize
2009	University of South Carolina, SCIAA: Mars Bluff CSS, Pee Dee Project
2009	University of South Carolina, SCIAA: Historic Columbia Foundation Project, Columbia, SC
2009, 2010	University of South Carolina: Johannes Kolb Archaeological Site, Pee Dee Heritage Preserve, SC
2005	University of North Carolina Chapel Hill, Archaeology Research Laboratory: Catawba Project, SC

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Public burden estimates

Andres E. Garzon-Oechsle

Contract Archaeologist

1505 Spring Harbor Drive, Apt O, Delray Beach, Florida, 33445

Andrés E. Garzón-Oechsle has six years of professional experience in archaeological research and fieldwork. Mr. Garzón-Oechsle has proficiency in all phases of cultural resource management fieldwork, three years of experience as a Crew Chief managing crews and writing reports, and can perform advance AutoCAD drafting.

Cultural Resource Management Experience

EBI Consulting. Contract Archaeologist, 2010 - Present
Thunderbird Archeology/Wetland Studies and Solutions Inc.
Field Technician III, Crew Chief, Senior Archaeologist 12/19/2009- 6/10/2014
Paciulli, Simmons & Associates, Ltd. Field Technician III
Two Woodland, Archaic and Terminal Paleo Phase II's, Boone County, WV 10/19/2009-11/6/2009
La Grange, 18th century site, Phase II, Fairfax County, VA 9/15/2009- 10/2/2009
Rummel Klepper and Kahl LLP. Field Technician III
Wetland Protection Site Development Phase I, Prince George's County, Maryland 7/20/2009-7/24/2009
MD 328 Bridge Replacement Phase II, Caroline County, Maryland, 7/1/2009-7/28/2009
MD 328 Bridge Replacement Phase I, Caroline County, Maryland, 5/11/2009-7/1/2009
Wetland Protection Site Development Phase II, Gaithersburg, Maryland 4/20/2009-07/12/2009
The Louis Berger Group, Inc. Field Technician III
Rex Pipeline Phase III, Decatur County, Indiana, 11/3/2008-12/23/2008
Cultural Resource Analysts Inc. Field Technician II
Rex Pipeline Phase III, Pike County, Illinois, 10/6/2008-11/2/2008
Rex Pipeline Phase III, Morgan County, Illinois, 08/28/2008-10/ 5/2008
The Louis Berger Group, Inc. Field Technician I
Rex Pipeline Phase I and Phase II, Southeastern and Central Indiana 01/29/2008-06/24/2008
Highway US 20 Phase II, Woodbury County, Iowa, 01/14/2008-01/27/2008

Education

Florida Atlantic University Boca Raton - Postgraduate student for a Masters of Arts in Anthropology, Ongoing
Indiana University Bloomington- Bachelor of Arts in Anthropology, December 2007
Certificate in Latin American and Caribbean Studies, December 2007
American School of Quito, Quito-Ecuador, H.S. Diploma (Bachillerato Internacional) May 2003

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Attachment 2. Site Information – Photographs

You are required to provide photographs and maps as part of this filing. Additional site information can be provided in an optional attachment.

Photograph Requirements:

Except in cases where no Historic Properties were identified within the Areas of Potential Effects, submit photographs as described below. Photographs should be in color, marked so as to identify the project, keyed to the relevant map or text, and dated; the focal length of the lens and the height of the camera should be noted. The source of any photograph included but not taken by the Applicant or its consultant (including copies of historic images) should be identified on the photograph.

- a. Photographs taken from the site should show views from the proposed location in all directions. The direction (e.g., north, south, etc.) should be indicated on each photograph, and, as a group, the photographs should present a complete (360 degree) view of the area around the proposed site.**

Please see attached Photographs, which were taken by Andres Garzon-Oechsle on February 7, 2017, unless otherwise noted.

- b. Photographs of all listed in and eligible properties within the Areas of Potential Effects.**

N/A

- c. If any listed or eligible properties are visible from the proposed site, photographs looking at the site from each historic property. The approximate distance in feet (meters) between the site and the historic property should be included. If any listed or eligible properties are within the APE, photos looking at each historic property should be included.**

N/A

Include aerial photos of the APE for visual effects, if available. There are a variety of publicly available websites that provide aerial photographs.

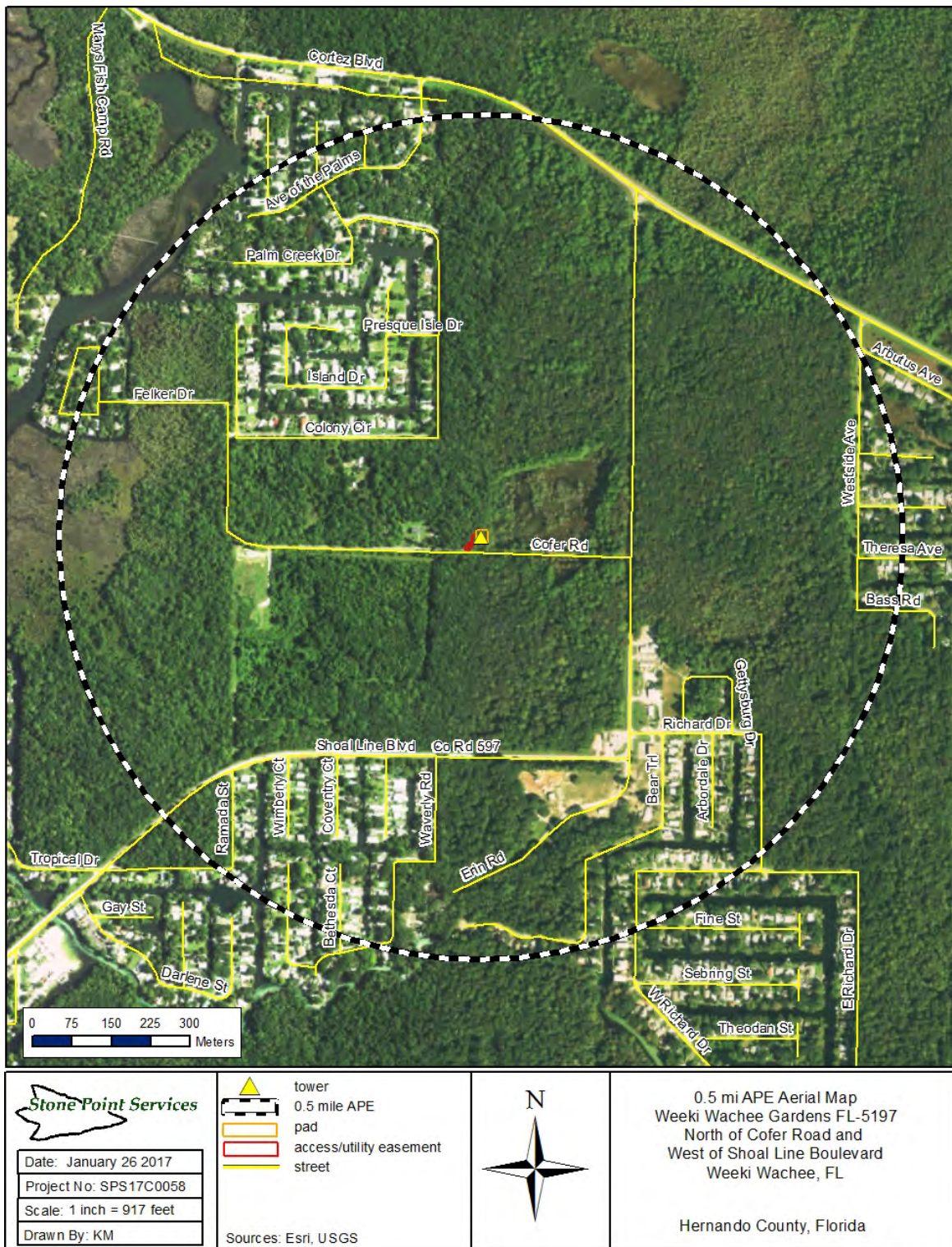
Aerial photograph of the site was obtained by using Esri, imagery is dated 2015.

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1. View facing
north from the
center stake



2. View facing east
from the center
stake

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3. View facing
south from the
center stake



4. View facing west
from the center
stake

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5. General view of the tower site facing east



6. General view of the tower site facing south

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7. View of the
access/utility
easement facing
southwest



8. View of the
access/utility
easement facing
northeast

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9. View facing
northwest from
the 0.5 mile APE



10. View facing
south from the
0.5 mile APE

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11. View facing
southwest from
the 0.5 mile APE



12. View facing
northeast from
the 0.5 mile APE

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Attachment 3. Site Information – Map Requirements

Include one or more 7.5-minute quad USGS topographical maps that:

- a. Identify the Areas of Potential Effects for both Direct and Visual Effects. If a map is copied from the original, include a key with the name of quad and date.**
- b. Show the location of the proposed site and any access roads or other easements including excavations.**
- c. Show the locations of each property listed.**
- d. Include keys for any symbols, colors, or other identifiers.**
- e. Submit color maps whenever possible.**

The following map has been attached to this report:

Topographic Map

0.5-Mile Area of Potential Effect Map

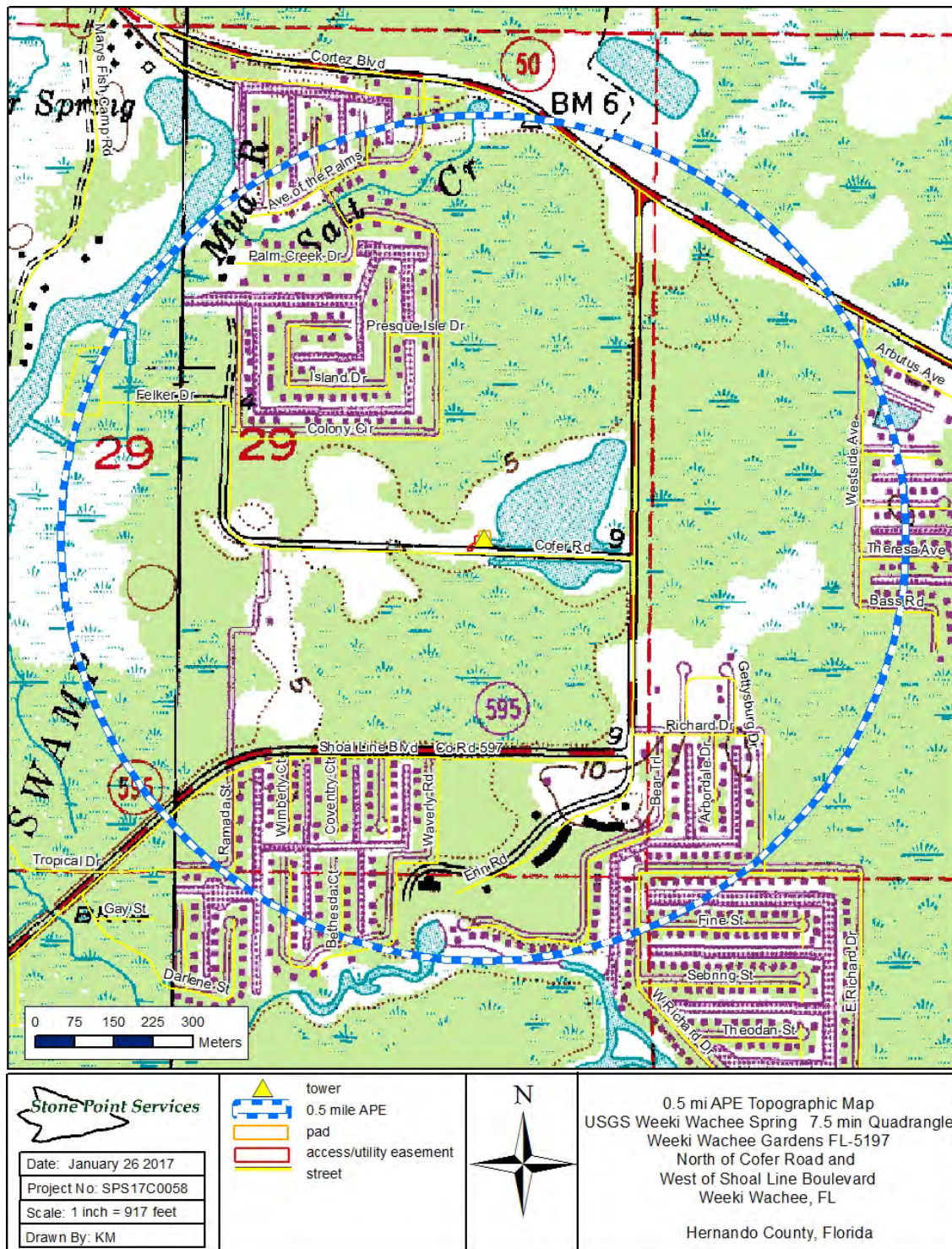
Project Map

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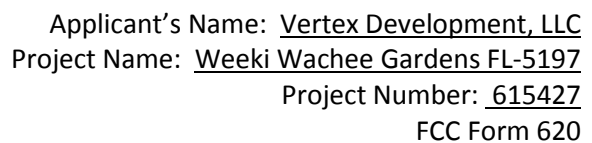
Attachment 4. Site Information – Additional Site Information

Describe any additional structures, access roads, utility lines, fences, easements, or other construction planned for the site.

The project is located in Weeki Wachee, FL (North of Cofer Road and West of Shoal Line Boulevard, Weeki Wachee, FL). The project consists of the construction of a 190-foot monopole cellular communications tower. The survey area includes an approximately 21 by 21-meter (70 by 70-foot) tower lease area with a 35 by 6-meter (114 by 20-feet) access/utility easement that extends south then southwest from the tower lease area toward Cofer Road. The total area to be included in this project is 0.07-hectare (0.16-acre).

The construction drawings provided by *Vertex Development, LLC* are included in this attachment.

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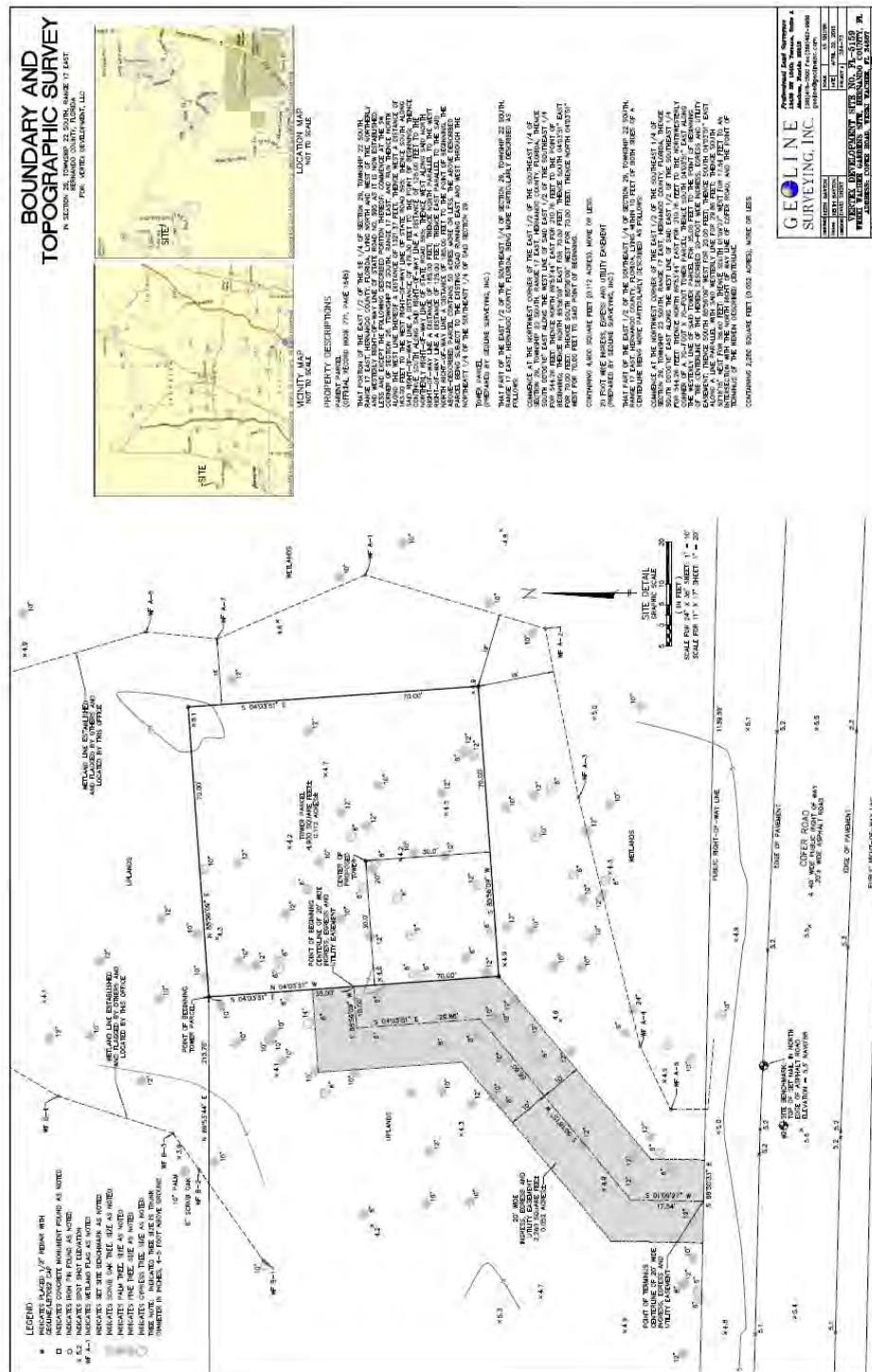
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Attachment 5. Area of Potential Effects

You are required to provide two attachments regarding the Determination of Effect: Areas of Potential Effect and Mitigation of Effect (if applicable).

Areas of Potential Effect Guidelines:

a. Describe the APE for direct effects and explain how this APE was determined.

Total acreage of the project area is approximately 0.16 acres. As defined by the NPA, “the APE for direct effects is limited to the area of potential ground disturbance and any property, or any portion thereof that will be physically altered or destroyed by the Undertaking.” The APE for direct effects is essentially the archaeological portion of the survey, which is the footprint of the construction activity.

b. Describe the APE for visual effects and explain how this APE was determined.

The APE for visual effects is the geographic area in which the Project has the potential to introduce visual elements that diminish or alter the setting, including the landscape, where the setting is a character-defining feature of a historic property that makes it eligible for listing on the National Register of Historic Places (NRHP). The presumed APE for visual effects for construction of new facilities is the area from which the tower will be visible. Due to the height of the proposed undertaking (190 feet), the presumed APE for visual effects for this project is a 0.5-mile radius from the tower site.

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Attachment 5. Continued

Mitigation of Effect Guidelines:

In the case of where an Adverse Visual Effect or Adverse Direct Effect has been determined you must provide the following:

- a. Copies of any correspondence and summaries of any oral communication with the SHPO/THPO and any consulting parties.**

N/A

- b. Describe any alternatives that have been considered that might avoid, minimize, or mitigate any adverse effects. Explain the Applicant's conclusion regarding the feasibility of each alternative.**

N/A

For each property identified as a Historic Property in the online e-106 form:

- a. Indicate whether the Applicant believes the proposed undertaking would have a) no effect; b) no adverse effect; or, c) an adverse effect. Explain how each such assessment was made. Provide supporting documentation where necessary.**

There were no recorded NRHP or determined eligible resources located within the 0.5 mile APE for visual effects within the project area or its study radius. Supporting documentation and justification for this finding is contained within the attachment. No archeological artifacts were encountered during the field survey.

A finding of 'no historic properties' is considered appropriate regarding both direct and visual effects. No additional cultural resources work is deemed necessary.

Please see the attached cultural resource assessment. .

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Attachment 6. Tribal and NHO Involvement

At an early stage in the planning process, the Nationwide Agreement requires the Applicant to gather information from appropriate Indian Tribes or Native Hawaiian Organizations (“NHOs”) to assist in the identification of Historic Properties of religious and cultural significance to them. Describe measures taken to identify Indian tribes and NHOs that may attach religious and cultural significance to Historic Properties that may be affected by the construction within the Areas of Potential Effects (“APE”) for direct and visual effects. If such Indian tribes or NHOs were identified, list them and provide a summary of contacts by either the FCC, the Applicant, or the Applicant’s representative. Provide copies of relevant documents, including correspondence. If no such Indian tribes or NHOs were identified, please explain.

Trileaf Corporation completed the Tower Construction Notification System (TCNS) on January 31, 2017, and received the notification of interested tribes on February 3, 2017. The attached FCC Notification email lists the Tribes identified through the TCNS process. A second notice will be sent to all interested tribes/organizations, after a period of 30 days and the consultation process will continue per the FCC’s guidelines. Any relevant comments from Tribes received by Trileaf will be forwarded to your office.

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From: overseas@vertexllc.com
To: info@
Cc: jeff@hawaii.gov; plane@overseas.com
Subject: NOTICE OF ORGANIZATION(S) WHICH WERE SENT PROPOSED TOWER CONSTRUCTION NOTIFICATION INFORMATION - Email ID #4995383
Date: Friday, February 03, 2017 2:02:54 AM

Dear Sir or Madam:

Thank you for using the Federal Communications Commission's (FCC) Tower Construction Notification System (TCNS). The purpose of this electronic mail message is to inform you that the following authorized persons were sent the information you provided through TCNS, which relates to your proposed antenna structure. The information was forwarded by the FCC to authorized TCNS users by electronic mail and/or regular mail (letter).

Persons who have received the information that you provided include leaders or their designees of federally-recognized American Indian Tribes, including Alaska Native Villages (collectively "Tribal Nations"), Native Hawaiian Organizations (NHOs), and State Historic Preservation Officers (SHPOs). For your convenience in identifying the referenced Tribal Nations and NHOs and in making further contacts, the City and State of the Seat of Government for each Tribal Nation and NHO, as well as the designated contact person, is included in the listing below. We note that Tribal Nations may have Section 106 cultural interests in ancestral homelands or other locations that are far removed from their current Seat of Government. Pursuant to the Commission's rules as set forth in the Nationwide Programmatic Agreement for Review of Effects on Historic Properties for Certain Undertakings Approved by the Federal Communications Commission (NPA), all Tribal Nations and NHOs listed below must be afforded a reasonable opportunity to respond to this notification, consistent with the procedures set forth below, unless the proposed construction falls within an exclusion designated by the Tribal Nation or NHO. (NPA, Section IV.F.4)

The information you provided was forwarded to the following Tribal Nations and NHOs. If a Tribal Nation or NHO does not respond within a reasonable time, you should make a reasonable effort at follow-up contact, unless the Tribal Nation or NHO has agreed to different procedures (NPA, Section IV.F.5). In the event a Tribal Nation or NHO does not respond to a follow-up inquiry, or if a substantive or procedural disagreement arises between you and a Tribal Nation or NHO, you must seek guidance from the Commission (NPA, Section IV.G). These procedures are further set forth in the FCC's Declaratory Ruling released on October 6, 2005 (FCC 05-176).

I. THPO Linda P Langley - Coushatta Indian Tribe - (PO Box: 10) Elton, LA - llangley@coushattatribela.org - 337-584-1560

Details: The Coushatta Tribe of Louisiana has implemented a paperless review process for all new applications. We will no longer mail initial letters of interest, notices, receipts for payments, or determination letters.

In order to expedite the review process, we are requesting that you upload the following information for each new or modified TCNS application to your Dropbox folder: New or existing tower site, site name & number, legal description or physical address of site, photographs in contour directions, topographic or quadrangle maps, height and type of tower, complete FCC Form 620 or 621, Phase I archaeological survey, and specific discussion of mitigation plans for any traditional cultural properties identified. Please be sure to identify and group information by the project TCNS application number. If you are new to working with us, please contact Kassie Henry (khenry@coushattatribela.org) to get setup in our Dropbox system.

Our research and review fee is \$500.00 per TCNS application. Please make checks payable to the Coushatta Tribe of LA, and mail them to the Coushatta Heritage Dept., PO Box 10, Elton, LA 70532.

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2. NAGPRA & Section 106 Representative Fred Dayhoff - Miccosukee Tribe of Indians of Florida - Tamiami Station (PO Box: 440021) Miami, FL - hoped@miccosukeetribe.com - 239-695-4360
Details: Please DO NOT contact me prior to the end of the 30-day period to inquire about the proposed site. I really need this time to review the TCNS notifications.

If, however, the proposed site is on undisturbed land, and you are aware of something that may be of interest to our Tribe, please feel free to telephone me or send documentation to me prior to the end of the 30-day period. Please send this information to me via regular mail or via UPS. Please do not use Federal Express, since they deliver to a general mailbox for our Tribe. Please send via reg. mail or UPS to:

Fred Dayhoff
NAGPRA & Section 106 Representative
Miccosukee Tribe of Indians of Florida
P.O. Box 440021
Tamiami Station
Miami, Florida 33144

At the end of the 30 days, if there is an inadvertent find during construction, IMMEDIATELY contact me at 239-695-4360 (phone). If the number is busy, immediately send a Fax to my attention at 239-695-4344 (fax).

If this is a POSITIVE TRAIN CONTROL project, please check the state master site file for any archaeological sites that may be present. If there are no archaeological sites present, you may proceed with construction immediately. If there are any archaeological sites present at the proposed site, please contact me as soon as possible.

Thank you.
Fred Dayhoff
NAGPRA & Section 106 Representative
Miccosukee Tribe of Indians of Florida
(239) 695-4360

If the applicant/tower builder receives no response from the Miccosukee Tribe of Indians of Florida within 30 days after notification through TCNS, the Miccosukee Tribe of Indians of Florida has no interest in participating in pre-construction review for the proposed site. The Applicant/tower builder,

however, must immediately notify the Miccosukee Tribe of Indians of Florida in the event archaeological properties or human remains are discovered during construction, consistent with Section IX of the Nationwide Programmatic Agreement and applicable law.

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3. Compliance Review Supervisor Bradley M Mueller - Seminole Tribe of Florida - 30290 Josie Billie Hwy
PMB 1004 Clewiston, FL - bradleymueller@seminoletribe.com - 863-983-6549 (ext: 12245)
Details: FEE STRUCTURE

The Seminole Tribe of Florida (STOF) charges the following research fees for conducting a Project Assessment of FCC/TCNS related undertakings.

TRADITIONAL / MACRO CELL TOWERS:

A Project Assessment fee of \$500 will be charged for each tower. An additional \$200.00 fee will be charged for any subsequent re-assessments due to changes to the original proposal, etc.

SMALL CELL / DISTRIBUTED ANTENNA SYSTEMS:

A Project Assessment fee of \$500 will be charged for each small cell installation.

POSITIVE TRAIN CONTROL SYSTEMS:

A Project Assessment fee of \$500 will be charged for the review of wayside poles and infrastructure. For multiple wayside poles grouped into a batch and filed under a single TCNS number, the fee will be \$500 for the first pole and \$200 for each additional non-excluded pole in the batch.

PUBLIC SAFETY / EMERGENCY TOWERS:

No fee will be charged for assessing towers directly related to public health and safety or for emergency purposes. However, we still want to review and assess the project.

ITEMS TO BE SUBMITTED TO STOF THPO

The following items should be submitted to BradleyMueller@seminoletribe.com for each request as soon as they are available:

TRADITIONAL / MACRO CELL TOWERS:

620/621 form with attachments associated with cultural resources to include archaeological assessment/report that includes methodology, findings and field survey results, and project area geomorphology and soils. Please limit submittal of architectural surveys (unless embedded with archaeological information), engineering/construction drawings, and excessive photos. Please submit these documents to the Tribal Historic Preservation Office (THPO) as soon as possible. All correspondence should be conducted via email and email attachments.

SMALL CELL / DISTRIBUTED ANTENNA SYSTEMS:

The following documentation is necessary before a project assessment can be performed. 1) A cover letter, referencing the specific TCNS number of the project, and providing a clear concise description of the undertaking and any possible ground disturbing impacts, 2) A map showing the general location for the proposed structure, 3) A street address and/or UTM or decimal latitude/longitude coordinates for the proposed structure, 4) A recent aerial photograph of the proposed structure APE, and 5) at least one street level photograph showing the location of the proposed structure. Google Earth images may be used for both the aerial photo and the street level photo providing they are of good quality and relatively recent. These photographs will assist us in determining the degree of previous ground disturbance within the direct effects APE.

SUBMISSION PROCESS

Once the Tribe has received its initial notification the STOF will issue an invoice to the consultant. Consultants will need to provide company name, primary contact person, mailing address (or e-mail), and business phone for invoice.

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purposes. Checks should be made payable to Seminole Tribe of Florida and mailed to: Seminole Tribe of Florida, Accounts Receivable, 6300 Stirling Road, Hollywood, FL 33024. Please include the TCNS numbers and invoice number on the memo line of the check in order for us to track your project payment. For requests involving multiple towers, a single check is acceptable. The submitted documents will be reviewed and comments provided to the consultant once payment of the Project Assessment fee has been received.

Please do not send payments until you have received an invoice and please do not send the payment to any address other than the one previously listed (6300 Stirling Road). Failure to follow these instructions may delay the Project Assessment.

STOF CONTACTS

Any questions concerning invoicing and payment should be directed to Sherree Ponce, Accounts Receivable, at sherreponce@semintribe.com.

Questions concerning the status of reviews should be directed to Bradley Mueller, Compliance Review Supervisor at bradleymueller@semintribe.com. Thank you.

4. Historic Preservation Officer Theodore Isham - Seminole Nation of Oklahoma - (PO Box. 1498) Wewoka, OK - isham.t@nsn-nsn.gov - 405-234-5218

Details: If the Applicant/tower builder receives no response from the Seminole Nation of Oklahoma within 30 days after notification through TCNS, the Seminole Nation of Oklahoma has no interest in participating in pre-construction review for the site. The Applicant/tower builder, however, must IMMEDIATELY notify the Seminole Nation of Oklahoma in the event archaeological properties or human remains are discovered during construction, consistent with Section IX of the Nationwide Programmatic Agreement and applicable law.

5. TCNS Coordinator Anne Edwards-Martel Ms - Muscogee (Creek) Nation - Highway 75 & Loop 56 (PO Box. 580) Okmulgee, OK - mentons@mcn-nsn.gov, section106@mcn-nsn.gov - 918-732-7639

Details: PLEASE NOTE OUR NEW REQUIREMENTS. Because the TCNS Details do not provide enough information for us to conduct a proper assessment on behalf of the Muscogee (Creek) Nation, we, instead, require that you submit with your original notification via regular postal mail or other parcel carrier the following (E-MAILED DOCUMENTATION WILL NOT BE ACCEPTED, NO EXCEPTIONS):

- 1) 620/621 forms
- 2) Colored photographs (no thumbnails please)
- 3) Aerial Map and color USGS topographic maps that clearly show the proposed site location, area of potential effect, shovel tests, access roads, utility easements, list of previously known archaeological sites within one mile of site and any information pertaining to project
- 4) Copy of archaeological assessment/survey including site forms of all sites within 1 mile of the project area
- 5) All pages of project to be on 8 1/2 x 11 or larger, maps must be at minimum 8 1/2 x 11 or larger
- 6) Need to send copy of all information pertaining to project on CD as well as a hard copy

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- 7) A copy of review letter from the State Historic Preservation Office
- 8) Submit payment along with project

EFFECTIVE 01/01/2016

PLEASE NOTE OUR NEW REVIEW FEES. Our administrative review fee for 106 reviews is \$800.00 for all new, collocations, addendums, and Positive Train Control. Please submit check with hard copy and CD copy. Upon receipt of all information outlined above, which requires the completed 620/621 form and receipt of the administrative review fee, the Section 106 30-day review process will begin. If you do not receive a response within 30 days from the date our office receives complete 620/621 packet and payment, please contact us by phone to confirm review status. Please submit required information and payment to address below:

Muscogee (Creek) Nation
Historic and Cultural Preservation Department
Ms Corrin Lowe-Zepeda, TCNS Coordinator
P.O. Box 580
Hwy 75 & Loop 56
Okmulgee, OK 74447

For specific information regarding TCNS, please contact Ms. Corrin Lowe-Zepeda, TCNS Coordinator, directly at 918-732-7835 or Ms. Raelynn Butler, THPO at 918-732-7678. Thank you.

Sincerely,

Ms. Corrin Lowe-Zepeda, TCNS Coordinator
Muscogee (Creek) Nation
918-732-7835
clowe@mcn-nsn.gov

6. TCNS Coordinator Travis Patton - Eastern Shawnee Tribe of Oklahoma - 70500 East 128 Road Wyandotte, OK - tpattou@estoo.net - 918-666-2435 (ext. 1860)
Details: The Cultural Preservation Office of the Eastern Shawnee Tribe of Oklahoma requires the following information and fees regarding all proposed FCC projects.

Please do not email documentation; it will be deleted without being opened. Mail one printed color copy of all documentation to:
70500 E 128 Rd.
Wyandotte, OK 74370

Please submit by US postal mail or other parcel carrier all of the following information for all FCC projects.

- 1. A 1-page cover letter with the following information:
 - a) TCNS number
 - b) Company name
 - c) Project name, city, county, state
 - d) Project type
 - e) UTM coordinates using WGS84 (G1150)

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- f) Total area surveyed in acres
- g) Contact information
- 2. Professional cultural/archaeological resource survey report.
- 3. Aerial and color USGS topographic maps locating project area within the state, county, and local area.
- 4. Aerial, color USGS topographic, or planimetric maps locating tower site, APE, access road, utility easement, guy wire locations surveyed, surveyed staging areas, and known archaeological/historic sites
- 5. Project site plan map depicting labeled shovel test locations.
- 6. Shovel test log.
- 7. Site photographs.
- 8. A copy of the review letter or TCNS e-response from the State Historic Preservation Office and all other state-mandated review offices for projects involving ground disturbance.
- 9. Please submit a fee of \$550.00 per TCNS project, for administration, data processing, handling, research and review. Make the check payable to the Eastern Shawnee Tribe of Oklahoma. On the memo line write all TCNS numbers. This includes new build towers, collocations, PTC poles, and projects in previously disturbed locations
- 10. The Eastern Shawnee procedure document is available by email and is highly recommended for guidance. Send an email to Travis Patton at: tpatton@estoo.net.

7. THPO Enman Spain - Thlopthlocco Tribal Town - P.O. Box 188 Okemah, OK - thpo@ttown.org; thlopthloccotribaltowntowers@gmail.com - 918-560-6198 (ext. 113)

Details: Thlopthlocco is requesting consulting party status on any proposed projects that the Federal Communications Commission undertakes in our Area of Historic Interest.

As a contractor, you are aware of expenses that are incurred to provide your professional services. The Thlopthlocco Tribal Town is also being asked to provide a professional service and therefore, should be compensated for their expertise. Our fee is \$800.00 per site. You will receive an invoice, and review will commence upon receipt of both payment and the review materials. Payments should include the TCNS number(s) on the memo, and should be mailed to Thlopthlocco Tribal Town, c/o Finley & Cook, Attn: Jamie Willis, 601 N. Broadway, Shawnee, OK 74801

If tribal representatives should have to travel to the site area, mileage, per diem and lodging, should be paid for by the Cell Tower Contractor.

Forms 620 or 621 are required for reviews to be completed, as well as archeology reports. Any site maps, previous archeological surveys, findings, photographs, etc., are required for review, and can be attached to the TCNS filing, or sent via email to thlopthloccotribaltowntowers@gmail.com with a CC to thpo@ttown.org. Please indicate the TCNS number in the subject line of the email.

The information you provided was also forwarded to the following SHPOs in the State in which you propose to construct and neighboring States. The information was provided to these SHPOs as a courtesy for their information and planning. You need make no effort at this time to follow up with any SHPO that does not respond to this notification. Prior to construction, you must provide the SHPO of the State in which you propose to construct (or

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the Tribal Historic Preservation Officer, if the project will be located on certain Tribal lands), with a Submission Packet pursuant to Section VII.A of the NPA.

8. SHPO Lee Warner - Alabama Historical Commission - 468 South Perry Street Montgomery, AL -
lwerner@mail.preserveala.org - 334-242-3184

9. Deputy SHPO Elizabeth Ann Brown - Alabama Historical Commission - 468 South Perry Street
Montgomery, AL - ebrown@mail.preserveala.org - 334-242-3185

10. Deputy SHPO Compliance Review Laura A Kammerer - Div of Historical Resources, Dept of State - 500
S. Bemough St. Tallahassee, FL - lkammerer@dos.state.fl.us - 850-245-6333

11. Historic Preservationist Robin Jackson - Florida Division of Historical Resources - 500 S. Bemough Street
Tallahassee, FL - Robin.Jackson@DOS.myflorida.com - 850-245-6333

"Exclusions" above set forth language provided by the Tribal Nation or SHPO. These exclusions may indicate types of PTC wayside pole notifications that the Tribal Nation or SHPO does not wish to review. TCNS automatically forwards all notifications to all Tribal Nations and SHPOs that have an expressed interest in the geographic area of a proposal. However, if a proposal falls within a designated exclusion, you need not expect any response and need not pursue any additional process with that Tribal Nation or SHPO. Exclusions may also set forth policies or procedures of a particular Tribal Nation or SHPO (for example, types of information that a Tribal Nation routinely requests, or a policy that no response within 30 days indicates no interest in participating in pre-construction review).

Please be advised that the FCC cannot guarantee that the contact(s) listed above opened and reviewed an electronic or regular mail notification. If you learn any of the above contact information is no longer valid, please contact the FCC. The following information relating to the proposed tower was forwarded to the person(s) listed above:

Notification Received: 01/31/2017
Notification ID: 151259
Tower Owner Individual or Entity Name: Vertex Development, LLC
Consultant Name: Mindi L Okai
Street Address: 10845 Olive Blvd
Suite 260
City: St. Louis
State: MISSOURI
Zip Code: 63141
Phone: 314-997-6111
Email: tribal@trileaf.com

Structure Type: MTOWER - Monopole
Latitude: 28 deg 32 min 20.8 sec N
Longitude: 82 deg 37 min 8.0 sec W
Location Description: Coffey Road

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City: Weeki Wachee
State: FLORIDA
County: HERNANDO
Detailed Description of Project: Legal Description: S29 T22S R17E
Ground Elevation: 1.6 meters
Support Structure: 57.9 meters above ground level
Overall Structure: 57.9 meters above ground level
Overall Height AMSL: 59.5 meters above mean sea level

If you have any questions or comments regarding this notice, please contact the FCC using the electronic mail form located on the FCC's website at:

<http://wireless.fcc.gov/outreach/modification/contact-fcc.html>

You may also call the FCC Support Center at (877) 480-3201 (TTY 717-338-2824). Hours are from 8 a.m. to 7:00 p.m. Eastern Time, Monday through Friday (except Federal holidays). To provide quality service and ensure security, all telephone calls are recorded.

Thank you,
Federal Communications Commission

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Attachment 7. Historic Properties Direct Effects

a. List all properties within the APE for direct effects.

No cultural materials or features were observed on the surface of the direct APE. A finding of No Historic Properties in the APE for Direct Effects is recommended for this project.

b. Provide the name and address (including U.S. Postal Service ZIP Code) of each property in the APE for direct effects, not listed in part “a” (above), that the Applicant considers to be eligible for listing in the National Register as a result of the Applicant’s research. For each such property, describe how it satisfies the criteria of eligibility (36 C.F.R. Part 63). For each property that was specifically considered and determined not to be eligible, describe why it does not satisfy the criteria of eligibility.

N/A

Attachment 7. Continued

- c. Describe the techniques and the methodology, including any field survey, used to identify Historic Properties within the APE for direct effects.¹ If no archeological field survey was performed, provide a report substantiating that: i) the depth of previous disturbance exceeds the proposed construction depth (excluding footings and other anchoring mechanisms) by at least 2 feet; or, ii) geomorphological evidence indicates that cultural resource-bearing soils do not occur within the project area or may occur but at depths that exceed 2 feet below the proposed construction depth.²

The archaeological investigations were conducted on February 7, 2017 by Andres Garzon-Oechsle of Stone Point Services. The Phase I archaeological field survey was conducted and consisted of systematic surface evaluation and subsurface testing of the lease area and access/utility easements. Six shovel tests were excavated at a maximum of 50 foot intervals. Shovel tests measured 50-centimeters (20-inches) in diameter and were excavated to sterile subsoil (pre-Holocene deposits) or at least 100-centimeters (39-inches) below ground surface, whichever was encountered first. Each shovel test was excavated in no greater than 20-centimeter (8-inches) levels to insure that any artifacts encountered could be plotted by depth. All shovel test fill was screened through 6.35-millimeter (0.25-inch) wire mesh screen.

Based on the information gathered, no previously-identified archaeological sites are located within the tower lease area or access road. No artifacts were recovered or any new archaeological resources within the APE for direct effects. Please refer to the Archaeological Survey in attachment 5.

¹ Pursuant to Section VI.D.2.a. of the Nationwide Agreement, Applicants shall make a reasonable and good faith effort to identify above ground and archeological Historic Properties, including buildings, structures, and historic districts, that lie within the APE for direct effects. Such reasonable and good faith efforts may include a field survey where appropriate.

² Under Section VI.D.2.d. of the Nationwide Agreement, an archeological field survey is required even if none of these conditions applies, if an Indian tribe or NHO provides evidence that supports a high probability of the presence of intact archeological Historic Properties within the APE for direct effects.

Attachment 8. Historic Properties Visual Effects

Historic Properties Identified for Visual Effects Guidelines

- a. Provide the name and address (including U.S. Postal Service ZIP Code) of each property in the APE for visual effects that is listed in the National Register, has been formally determined eligible for listing by the Keeper of the National Register, or is identified as considered eligible for listing in the records of the SHPO/THPO, pursuant to Section VI.D.I.a. of the Nationwide Agreement.

N/A

- b. Provide the name and address (including U.S. Postal Service ZIP Code) of each Historic Property in the APE for visual effects, not listed in part “a”, identified through the comments of Indian Tribes, NHOs, local governments, or members of the public. Identify each individual or group whose comments led to the inclusion of a Historic Property in this attachment. For each such property, describe how it satisfies the criteria of eligibility (36 C.F.R. Part 63).

As of the date of this report, Trileaf Corporation has not received comments from Indian Tribes, NHOs, local governments, or members of the public that identify Historic Properties in the APE for visual effects.

- c. For any properties listed in the above Historic Properties list, that the Applicant considers no longer eligible for inclusion in the National Register, explain the basis for this recommendation.

N/A

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Attachment 9. Local Government

- a. If any local government has been contacted and invited to become a consulting party pursuant to Section V.A. of the Nationwide Programmatic Agreement, list the local government agencies contacted. Provide a summary of contacts and copies of any relevant documents (e.g., correspondence or notices).**

On February 7, 2017, the Hernando Planning Department was notified of the proposed project. They were invited to comment on the proposed project's potential effect on Historic Properties as well as indicate whether they are interested in consulting further on the proposed project. A copy of Trileaf Corporation's correspondence with the Hernando Planning Department is attached. As of the date of this submission packet, no comments from the Hernando Planning Department have been received by Trileaf Corporation. Should a response be received, copies will be forwarded to all consulting parties as an addendum to this submission packet.

- b. If a local government agency will be contacted but has not been to date, explain why and when such contact will take place.**

N/A

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February 7, 2017

Hernando Planning Department
20 N. Main Street, Room 262
Brooksville, FL 34601
Phone: (352)754-4057

RE: Vertex Development, LLC - Croom Road- Trileaf Project #628966
405 S. Dale Mabry Hwy, Suite 224, Brooksville, Florida
Hernando County, Weeki Wachee Spring Quadrangle (USGS)
Latitude: 28° 32' 20.79" N, Longitude: 82° 37' 7.99" W

To whom it may concern:

Trileaf Corporation is in the process of completing a NEPA Review at the referenced property. Our client proposes to construct a 190-foot monopole Communications Tower and associated equipment within a 30-foot by 30-foot (900 square feet) lease area. The project includes a 20-foot wide proposed utility easement that extends south, terminating at Cofar Road. Currently the site is an undeveloped wooded area. The antenna will be licensed by the Federal Communications Commission (FCC).

Our investigation includes determining if the site is contained in, on or within the viewshed of a building, site, district, structure or object, significant in American history, architecture, archeology, engineering or culture, that is listed, or eligible for listing on the State or National Registers of Historic Places, or located in or on an Indian Religious Site.

Trileaf is requesting information regarding this tower's potential effect on Historic Properties. All information received will be forwarded to the State Historic Preservation Office (SHPO) as part of the Section 106 review process. *Additionally, this invitation to comment is separate from any local planning/zoning process that may apply to this project.*

If you wish to comment or be considered a consulting party, please respond within thirty (30) days of the date of this letter. If a response is not received within thirty (30) days, it will be assumed that you have no objections to this undertaking. A site topography map and aerial photograph are enclosed for your reference.

Please call me at (407) 660-7840 or email l.lanoux@trileaf.com if you need additional information or have any questions. Thank you for your assistance in this regard.

Sincerely,

Lauren Lanoux
Project Scientist

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Attachment 10. Other Consulting Parties and Public Notice

List additional consulting parties that were invited to participate by the Applicant, or independently requested to participate. Provide any relevant correspondence or other documents.

N/A

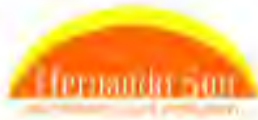
You are required to provide a Public Notice Attachment.

Attached, please find a copy of a legal notice regarding the proposed telecommunications tower construction that was posted in the *Hernando Sun* on February 10, 2017. As of the date of this submission packet, no comments regarding this notice have been received by Trileaf Corporation. Should a response be received, copies will be forwarded to all consulting parties as an addendum to this submission packet.

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THE HERNANDO SUN

Published Weekly

Brooksville, Hernando County, FLORIDA

PUBLISHER'S AFFIDAVIT OF PUBLICATION

STATE OF FLORIDA

COUNTY OF HERNANDO:

Before the undersigned authority personally appeared Julie B. Maglio, who on oath says that she is Editor of the Hernando Sun, a weekly newspaper published at Brooksville in Hernando County, Florida; that the attached copy of advertisement, being a PUBLIC NOTICE in the matter of Vertex Development, LLC was published in said newspaper in the issue of:

February 10, 2017

Affiant further says that the said newspaper is a newspaper published at Brooksville, in said Hernando County, Florida, and that the said newspaper has heretofore been continuously published in said Hernando County, Florida, each week and has been entered as periodicals matter at the post office in Brooksville, in said Hernando County, Florida, for a period of 1 year next preceding the first publication of the attached copy of advertisement; and affiant further says that he or she has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.

Julie B. Maglio

(Signature of Affiant)

Sworn to and subscribed before me this 9th day of February, 2017.

Tina L. James

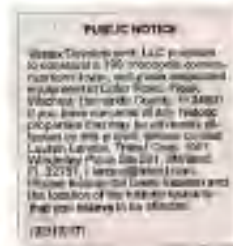
(Signature of Notary Public)



(Print: Type or Stamp Commissioned Notary Public)

Personally known ☒ or produced identification

Type of identification produced:



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Attachment 11. SHPO Specific Forms

The State of Florida requires a Survey Log to be completed for all surveys. See attached below.

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Ent D (FMSF only)



Survey Log Sheet
Florida Master Site File
Version 4.1 1/07

Survey # (FMSF only)

Consult *Guide to the Survey Log Sheet* for detailed instructions.

Identification and Bibliographic Information

Survey Project (name and project phase) Weeki Wachee Gardens FL-5197 cellular tower survey

Report Title (as used on title page) Cultural Resources Assessment of the Weeki Wachee Gardens FL-5197 Cellular Tower, Hernando County, Florida

Report Authors (as on title page, last names first) 1. Nichols, David 3.
2. 4.

Publication Date (year) 2017 Total Number of Pages in Report (count text, figures, tables, not site files) 33

Publication Information (Give series, number in series, publisher and city). For article or chapter, cite page numbers. Use the style of *American Antiquity*.
Stans Point Services report SPGL700058

Supervisors of Fieldwork (even if same as author) Name: Todd McMakin

Affiliation of Fieldworkers: Organization: Other City: Tyler, TX

Key Words/Phrases (Don't use county name, or common words like archaeology, structure, survey, architecture, etc.)

1. cell tower 3. 5. 7.
2. PC 4. 6. 8.

Survey Sponsors (corporation, government unit, organization or person directly funding fieldwork)

Name: Donn Butler

Organization: Other

Address/Phone/E-mail

Recorder of Log Sheet: Todd McMakin

Date Log Sheet Completed: 7-16-2017

Is this survey or project a continuation of a previous project? ☒ No ☐ Yes: Previous survey # (FMSF only)

Mapping

Counties (List each one in which field survey was done; attach additional sheet if necessary)

1. Hernando 3. 5.
2. 4. 6.

USGS 1:24,000 Map Names/Year of Latest Revision (attach additional sheet if necessary)

1. Name: WEEKI WACHEE SPRINGS Year: 1998 4. Name: Year:
2. Name: Year: 5. Name: Year:
3. Name: Year: 6. Name: Year:

Description of Survey Area

Dates for Fieldwork: Start: 02/07/2017 End: 3/07/2017 Total Area Surveyed (in acres) 0.07 hectares 0.16 acres

Number of Distinct Tracts or Areas Surveyed: 1

If Corridor (RM in use for each): Width: meters feet Length: kilometers miles

FFRMS0000107 Florida Master Site File Division of Historical Resources, Gray Building, 500 South Broward Street Tallahassee, Florida 32306-0253
Phone 850-243-8440 FAX 850-243-8436 Email: SiteFile@dhc.state.fl.us

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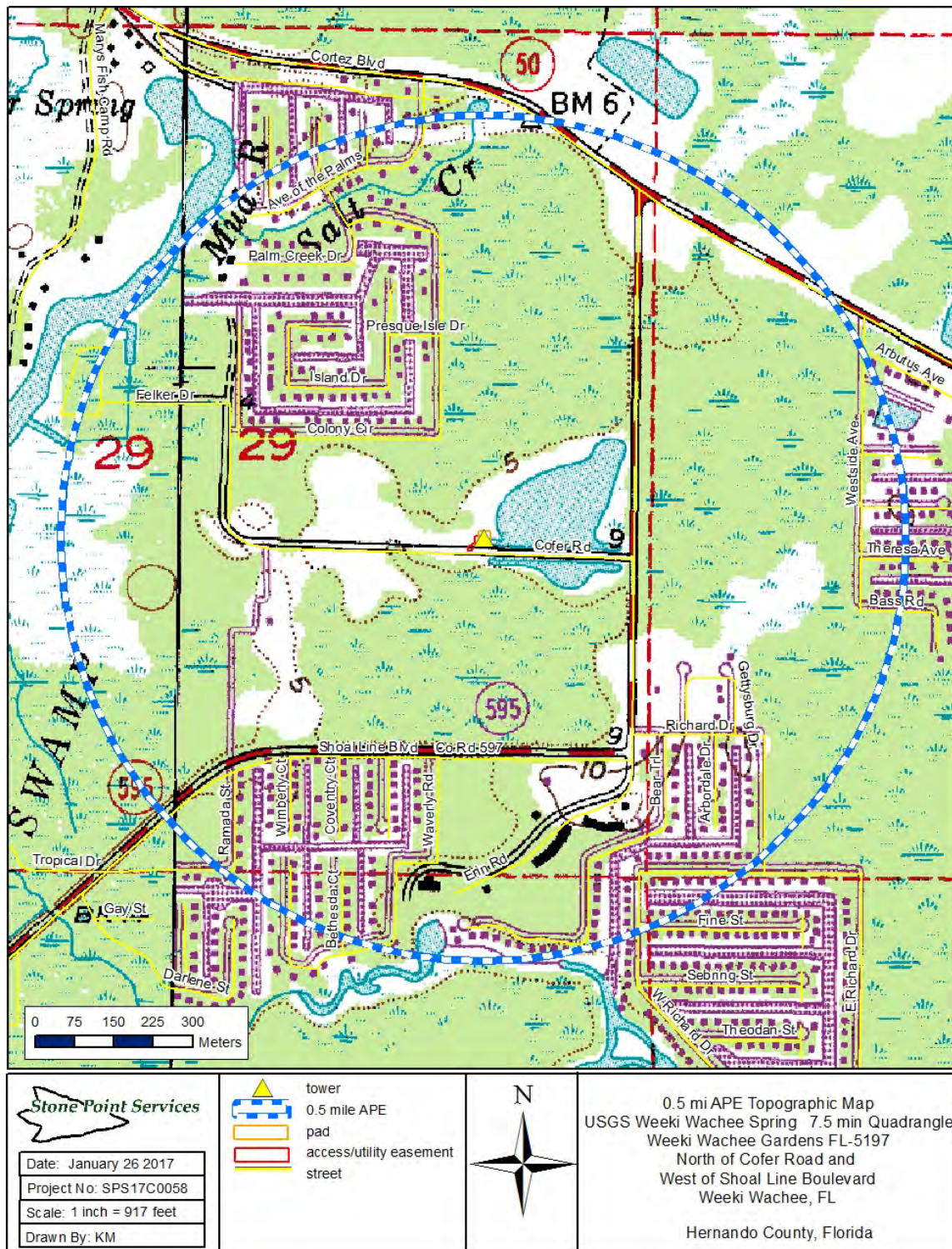
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Applicant's Name: Vertex Development, LLC
Project Name: Weeki Wachee Gardens FL-5197
Project Number: 615427
FCC Form 620



FLORIDA DEPARTMENT *of* STATE

RICK SCOTT
Governor

KEN DETZNER
Secretary of State

Mr. Douglas Butler
Trileaf Corporation
1051 Winderley Place, Suite 201
Maitland, Florida 32751

March 31, 2017

RE: DHR Project File No.: 2017-1079/ Received by DHR: February 28, 2017
Federal Communication Commission
Stone Point Services Report for Weeki Wachee Gardens FL-5197
Construct 190-foot Monopole Cellular Tower
North of Cofer Road and West of Shoal Lane Blvd.
Weeki Wachee, Hernando County, Florida
Trileaf Project # #628966

Mr. Butler:

Our office reviewed the referenced project for possible impact to historic properties listed, or eligible for listing, in the National Register of Historic Places. The review was conducted in accordance with Section 106 of the National Historic Preservation Act of 1966, as amended, 36 CFR Part 800: Protection of Historic Properties, and the National Environmental Policy Act of 1969, as amended.

Based on the information provided and a review of our records, this office concurs that the proposed undertaking will have no direct effects and no visual effects on historic properties.

For any questions concerning our comments, please contact Robin Jackson, Historic Preservationist, Compliance and Review, by electronic mail at robin.jackson@dos.myflorida.com, or at 850.245.6496, or 800.847.7278.

Sincerely,

For
Timothy A. Parsons, Ph.D., RPA
Director, Division of Historical Resources
and State Historic Preservation Officer

Appendix F

Native American Correspondence

Tribal Summary Table

Site Name: Weeki Wachee Gardens				Client #:			
TCNS #: 151259				TCNS Notification Date: 02/03/2017			
Tribe	TCNS auto-reply	Request from Tribe	Follow Up(s)	Final Reply		FCC Referral	Standing Agreements &
				Date	Comments		
Coushatta Indian Tribe	Upload project information, photos, topo & aerial map, Form 620/621, arch report to the Dropbox. \$500 review fee.		3/1/2017	3/9/2017	No known sacred/ceremonial sites in immediate area. Requests inadvertent discovery notification.		
Eastern Shawnee Tribe of Oklahoma	Send cover letter with project information, UTM coordinates, Topo and Aerial Maps, Archeological Report, APE maps, site plans, shovel test locations and log, Photos, SHPO Response. \$550 review fee.	2/2/2017	4/3/2017	4/28/2017	No Historic Properties of sacred and/or cultural significance to the Tribe will be impacted by this project. Therefore, ESTO has no objection to the project proceeding as described; however, please note that any future changes to this project may require additional consultation. Requests inadvertent discovery notification.		
Miccosukee Tribe of Indians of Florida	No response within 30 days of TCNS notification, no interest. Requests inadvertent discovery notification			3/5/2017	Cleared Per NOO		
Muscogee Creek Nation	Mail a copy of the Form 620/621, photos, topo and aerial maps, SHPO response and archaeological survey.		3/1/2017	4/6/2017	No Historic Properties Effected. Requests inadvertent discovery notification.		
Seminole Nation of Oklahoma	No response within 30 days of TCNS notification, no interest. Requests inadvertent discovery notification	2/9/2017	3/1/2017	3/9/2017	We are unaware of any historic, cultural, religious or sacred sites at this exact location. Therefore, we recommend a finding of “No Effect” for the proposed undertaking. The Seminole Nation of Oklahoma has no objection to the proposed construction. Requests inadvertent discovery notification.		
Seminole Tribe of Florida	\$500 review fee. Via email: send 620/621 form w/attach including arch report that includes methodology, findings & field survey results, project geomorphology & soils. Please limit arch surveys (unless embedded w/arch info), engineering/construction drawings and excessive photos.	2/2/2017	3/1/2017	3/13/2017	No objections to the project. Requests inadvertent discovery notification.		

Tribal Summary Table

Site Name: Weeki Wachee Gardens				Client #:			
TCNS #: 151259				TCNS Notification Date: 02/03/2017			
Tribe	TCNS auto-reply	Request from Tribe	Follow Up(s)	Final Reply		FCC Referral	Standing Agreements &
				Date	Comments		
Thlopthlocco Tribal Town		2/1/2017	3/1/2017	3/20/2017	We are unaware of any culturally significant sites within the project APE. Requests inadvertent discovery notification.		

From: towernotifyinfo@fcc.gov
To: [tribal](#)
Cc: Jessica.Hynosky@fcc.gov; diane.dupert@fcc.gov
Subject: NOTICE OF ORGANIZATION(S) WHICH WERE SENT PROPOSED TOWER CONSTRUCTION NOTIFICATION INFORMATION - Email ID #4995383
Date: Friday, February 03, 2017 2:02:34 AM

Dear Sir or Madam:

Thank you for using the Federal Communications Commission's (FCC) Tower Construction Notification System (TCNS). The purpose of this electronic mail message is to inform you that the following authorized persons were sent the information you provided through TCNS, which relates to your proposed antenna structure. The information was forwarded by the FCC to authorized TCNS users by electronic mail and/or regular mail (letter).

Persons who have received the information that you provided include leaders or their designees of federally-recognized American Indian Tribes, including Alaska Native Villages (collectively "Tribal Nations"), Native Hawaiian Organizations (NHOs), and State Historic Preservation Officers (SHPOs). For your convenience in identifying the referenced Tribal Nations and NHOs and in making further contacts, the City and State of the Seat of Government for each Tribal Nation and NHO, as well as the designated contact person, is included in the listing below. We note that Tribal Nations may have Section 106 cultural interests in ancestral homelands or other locations that are far removed from their current Seat of Government. Pursuant to the Commission's rules as set forth in the Nationwide Programmatic Agreement for Review of Effects on Historic Properties for Certain Undertakings Approved by the Federal Communications Commission (NPA), all Tribal Nations and NHOs listed below must be afforded a reasonable opportunity to respond to this notification, consistent with the procedures set forth below, unless the proposed construction falls within an exclusion designated by the Tribal Nation or NHO. (NPA, Section IV.F.4).

The information you provided was forwarded to the following Tribal Nations and NHOs. If a Tribal Nation or NHO does not respond within a reasonable time, you should make a reasonable effort at follow-up contact, unless the Tribal Nation or NHO has agreed to different procedures (NPA, Section IV.F.5). In the event a Tribal Nation or NHO does not respond to a follow-up inquiry, or if a substantive or procedural disagreement arises between you and a Tribal Nation or NHO, you must seek guidance from the Commission (NPA, Section IV.G). These procedures are further set forth in the FCC's Declaratory Ruling released on October 6, 2005 (FCC 05-176).

1. THPO Linda P Langley - Coushatta Indian Tribe - (PO Box: 10) Elton, LA - llangley@coushattatribela.org - 337-584-1560

Details: The Coushatta Tribe of Louisiana has implementing a paperless review process for all new applications. We will no longer mail initial letters of interest, invoices, receipts for payments, or determination letters.

In order to expedite the review process, we are requesting that you upload the following information for each new or modified TCNS application to your Dropbox folder: New or existing tower site, site name & number, legal description or physical address of site, photographs in contour directions, topographic or quadrangle maps, height and type of tower, complete FCC Form 620 or 621, Phase 1 archaeological survey, and specific discussion of mitigation plans for any traditional cultural properties identified. Please be sure to identify and group information by the project TCNS application number. If you are new to working with us, please contact Kassie Henry (khenry@coushattatribela.org) to get setup in our Dropbox system.

Our research and review fee is \$500.00 per TCNS application. Please make checks payable to the Coushatta Tribe of LA, and mail them to the Coushatta Heritage Dept., PO Box 10, Elton, LA 70532.

2. NAGPRA & Section 106 Representative Fred Dayhoff - Miccosukee Tribe of Indians of Florida - Tamiami Station (PO Box: 440021) Miami, FL - hopel@miccosukeetribe.com - 239-695-4360
Details: Please DO NOT contact me prior to the end of the 30-day period to inquire about the proposed site. I really need this time to review the TCNS notifications.

If, however, the proposed site is on undisturbed land, and you are aware of something that may be of interest to our Tribe, please feel free to telephone me or send documentation to me prior to the end of the 30-day period. Please send this information to me via regular mail or via UPS. Please do not use Federal Express, since they deliver to a general mailbox for our Tribe. Please send via reg. mail or UPS to:

Fred Dayhoff
NAGPRA & Section 106 Representative
Miccosukee Tribe of Indians of Florida
P.O. Box 440021
Tamiami Station
Miami, Florida 33144

At the end of the 30 days, if there is an inadvertent find during construction, IMMEDIATELY contact me at 239-695-4360 (phone). If the number is busy, immediately send a Fax to my attention at 239-695-4344 (fax).

If this is a POSITIVE TRAIN CONTROL project, please check the state master site file for any archaeological sites that may be present. If there are no archaeological sites present, you may proceed with construction immediately. If there are any archaeological sites present at the proposed site, please contact me as soon as possible.

Thank you.
Fred Dayhoff
NAGPRA & Section 106 Representative
Miccosukee Tribe of Indians of Florida
(239) 695-4360

If the applicant/tower builder receives no response from the Miccosukee Tribe of Indians of Florida within 30 days after notification through TCNS, the Miccosukee Tribe of Indians of Florida has no interest in participating in pre-construction review for the proposed site. The Applicant/tower builder,

however, must immediately notify the Miccosukee Tribe of Indians of Florida in the event archaeological properties or human remains are discovered during construction, consistent with Section IX of the Nationwide Programmatic Agreement and applicable law.

3. Compliance Review Supervisor Bradley M Mueller - Seminole Tribe of Florida - 30290 Josie Billie Hwy
PMB 1004 Clewiston, FL - bradleymueller@semtribe.com - 863-983-6549 (ext: 12245)
Details: FEE STRUCTURE

The Seminole Tribe of Florida (STOF) charges the following research fees for conducting a Project Assessment of FCC/TCNS related undertakings.

TRADITIONAL / MACRO CELL TOWERS:

A Project Assessment fee of \$500 will be charged for each tower. An additional \$200.00 fee will be charged for any subsequent re-assessments due to changes to the original proposal, etc.

SMALL CELL / DISTRIBUTED ANTENNA SYSTEMS:

A Project Assessment fee of \$500 will be charged for each small cell installation.

POSITIVE TRAIN CONTROL SYSTEMS:

A Project Assessment fee of \$500 will be charged for the review of wayside poles and infrastructure. For multiple wayside poles grouped into a batch and filed under a single TCNS number, the fee will be \$500 for the first pole and \$200 for each additional non-excluded pole in the batch.

PUBLIC SAFETY / EMERGENCY TOWERS:

No fee will be charged for assessing towers directly related to public health and safety or for emergency purposes. However, we still want to review and assess the project.

ITEMS TO BE SUBMITTED TO STOF THPO

The following items should be submitted to BradleyMueller@semtribe.com for each request as soon as they are available:

TRADITIONAL / MACRO CELL TOWERS:

620/621 form with attachments associated with cultural resources to include archaeological assessment/report that includes methodology, findings and field survey results, and project area geomorphology and soils. Please limit submittal of architectural surveys (unless embedded with archaeological information), engineering/construction drawings, and excessive photos. Please submit these documents to the Tribal Historic Preservation Office (THPO) as soon as possible. All correspondence should be conducted via email and email attachments.

SMALL CELL / DISTRIBUTED ANTENNA SYSTEMS:

The following documentation is necessary before a project assessment can be performed: 1) A cover letter, referencing the specific TCNS number of the project, and providing a clear concise description of the undertaking and any possible ground disturbing impacts, 2) A map showing the general location for the proposed structure, 3) A street address and/or UTM or decimal lat/long coordinates for the proposed structure, 4) A recent aerial photograph of the proposed structure APE, and 5) at least one street level photograph showing the location of the proposed structure. Google Earth images may be used for both the aerial photo and the street level photo providing they are of good quality and relatively recent. These photographs will assist us in determining the degree of previous ground disturbance within the direct effects APE.

SUBMISSION PROCESS

Once the Tribe has received its initial notification the STOF will issue an invoice to the consultant. Consultants will need to provide company name, primary contact person, mailing address (or e-mail), and business phone for invoice

purposes. Checks should be made payable to Seminole Tribe of Florida and mailed to: Seminole Tribe of Florida, Accounts Receivable, 6300 Stirling Road, Hollywood, FL 33024. Please include the TCNS numbers and invoice number on the memo line of the check in order for us to track your project payment. For requests involving multiple towers, a single check is acceptable. The submitted documents will be reviewed and comments provided to the consultant once payment of the Project Assessment fee has been received.

Please do not send payments until you have received an invoice and please do not send the payment to any address other than the one previously listed (6300 Stirling Road). Failure to follow these instructions may delay the Project Assessment.

STOF CONTACTS

Any questions concerning invoicing and payment should be directed to Sheree Ponce, Accounts Receivable, at shereeponce@semtribe.com.

Questions concerning the status of reviews should be directed to Bradley Mueller, Compliance Review Supervisor at bradleymueller@semtribe.com. Thank you.

4. Historic Preservation Officer Theodore Isham - Seminole Nation of Oklahoma - (PO Box: 1498) Wewoka, OK - isham.t@sno-nsn.gov - 405-234-5218

Details: If the Applicant/tower builder receives no response from the Seminole Nation of Oklahoma within 30 days after notification through TCNS, the Seminole Nation of Oklahoma has no interest in participating in pre-construction review for the site. The Applicant/tower builder, however, must IMMEDIATELY notify the Seminole Nation of Oklahoma in the event archaeological properties or human remains are discovered during construction, consistent with Section IX of the Nationwide Programmatic Agreement and applicable law.

5. TCNS Coordinator Anne Edwards-Martel Ms - Muscogee (Creek) Nation - Highway 75 & Loop 56 (PO Box: 580) Okmulgee, OK - mcntcns@mcn-nsn.gov; section106@mcn-nsn.gov - 918-732-7639

Details: PLEASE NOTE OUR NEW REQUIREMENTS: Because the TCNS Details do not provide enough information for us to conduct a proper assessment on behalf of the Muscogee (Creek) Nation, we, instead, require that you submit with your original notification via regular postal mail or other parcel carrier the following (E-MAILED DOCUMENTATION WILL NOT BE ACCEPTED, NO EXCEPTIONS):

- 1) 620/621 forms
- 2) Colored photographs (no thumbnails please)
- 3) Aerial Map and color USGS topographic maps that clearly show the proposed site location, area of potential effect, shovel tests, access roads, utility easements, list of previously known archaeological sites within one mile of site and any information pertaining to project
- 4) Copy of archaeological assessment/survey including site forms of all sites within 1 mile of the project area
- 5) All pages of project to be on 8 1/2 x 11 or larger, maps must be at minimum 8 1/2 x 11 or larger
- 6) Need to send copy of all information pertaining to project on CD as well as a hard copy

- 7) A copy of review letter from the State Historic Preservation Office
- 8) Submit payment along with project

EFFECTIVE 01/01/2016

PLEASE NOTE OUR NEW REVIEW FEES: Our administrative review fee for 106 reviews is \$800.00 for all new, collocations, addendums, and Positive Train Control. Please submit check with hard copy and CD copy. Upon receipt of all information outlined above, which requires the completed 620/621 form and receipt of the administrative review fee, the Section 106 30-day review process will begin. If you do not receive a response within 30 days from the date our office receives complete 620/621 packet and payment, please contact us by phone to confirm review status. Please submit required information and payment to address below:

Muscogee (Creek) Nation
Historic and Cultural Preservation Department
Ms Corain Lowe-Zepeda, TCNS Coordinator
P.O. Box 580
Hwy 75 & Loop 56
Okmulgee, OK 74447

For specific information regarding TCNS, please contact Ms. Corain Lowe-Zepeda, TCNS Coordinator, directly at 918-732-7835 or Ms. Raelynn Butler, THPO at 918-732-7678. Thank you.

Sincerely,

Ms. Corain Lowe-Zepeda, TCNS Coordinator
Muscogee (Creek) Nation
918-732-7835
clowe@mcn-nsn.gov

6. TCNS Coordinator Travis Patton - Eastern Shawnee Tribe of Oklahoma - 70500 East 128 Road Wyandotte, OK - tpatton@estoo.net - 918-666-2435 (ext: 1860)

Details: The Cultural Preservation Office of the Eastern Shawnee Tribe of Oklahoma requires the following information and fees regarding all proposed FCC projects.

Please do not email documentation; it will be deleted without being opened. Mail one printed color copy of all documentation to:

70500 E 128 Rd.
Wyandotte, OK 74370

Please submit by US postal mail or other parcel carrier all of the following information for all FCC projects:

1. A 1-page cover letter with the following information:
 - a) TCNS number
 - b) Company name
 - c) Project name, city, county, state
 - d) Project type
 - e) UTM coordinates using WGS84 (G1150)

- f) Total area surveyed in acres
- g) Contact information.

2. Professional cultural/archaeological resource survey report.
3. Aerial and color USGS topographic maps locating project area within the state, county, and local area.
4. Aerial, color USGS topographic, or planimetric maps locating tower site, APE, access road, utility easement, guy wire locations surveyed, surveyed staging areas, and known archaeological/historic sites.
5. Project site plan map depicting labeled shovel test locations.
6. Shovel test log.
7. Site photographs.
8. A copy of the review letter or TCNS e-response from the State Historic Preservation Office and all other state-mandated review offices for projects involving ground disturbance.
9. Please submit a fee of \$550.00 per/TCNS project, for administration, data processing, handling, research and review. Make the check payable to the Eastern Shawnee Tribe of Oklahoma. On the memo line write all TCNS numbers. This includes new build towers, collocations, PTC poles, and projects in previously disturbed locations.
10. The Eastern Shawnee procedure document is available by email and is highly recommended for guidance. Send an email to Travis Patton at: tpatton@estoo.net.

7. THPO Emman Spain - Thlopthlocco Tribal Town - P.O. Box 188 Okemah, OK - thpo@tttown.org; thlopthloccotribaltowntowers@gmail.com - 918-560-6198 (ext: 113)

Details: Thlopthlocco is requesting consulting party status on any proposed projects that the Federal Communications Commission undertakes in our Area of Historic Interest.

As a contractor, you are aware of expenses that are incurred to provide your professional services. The Thlopthlocco Tribal Town is also being asked to provide a professional service and therefore, should be compensated for their expertise. Our fee is \$800.00 per site. You will receive an invoice, and review will commence upon receipt of both payment and the review materials. Payments should include the TCNS number(s) on the memo, and should be mailed to Thlopthlocco Tribal Town, c/o Finley & Cook, Attn: Jeanie Willis, 601 N. Broadway, Shawnee, OK 74801

If tribal representatives should have to travel to the site area, mileage, per diem and lodging, should be paid for by the Cell Tower Contractor.

Form 620 or 621 are required for reviews to be completed, as well as archeology reports. Any site maps, previous archeological surveys, findings, photographs, etc., are required for review, and can be attached to the TCNS filing, or sent via email to thlopthloccotribaltowntowers@gmail.com with a CC to thpo@tttown.org. Please indicate the TCNS number in the subject line of the email.

The information you provided was also forwarded to the following SHPOs in the State in which you propose to construct and neighboring States. The information was provided to these SHPOs as a courtesy for their information and planning. You need make no effort at this time to follow up with any SHPO that does not respond to this notification. Prior to construction, you must provide the SHPO of the State in which you propose to construct (or

the Tribal Historic Preservation Officer, if the project will be located on certain Tribal lands), with a Submission Packet pursuant to Section VII.A of the NPA.

8. SHPO Lee Warner - Alabama Historical Commission - 468 South Perry Street Montgomery, AL - lwarner@mail.preserveala.org - 334-242-3184

9. Deputy SHPO Elizabeth Ann Brown - Alabama Historical Commission - 468 South Perry Street Montgomery, AL - ebrown@mail.preserveala.org - 334-242-3185

10. Deputy SHPO Compliance Review Laura A Kammerer - Div of Historical Resources, Dept of State - 500 S. Bronough St. Tallahassee, FL - lkammerer@dos.state.fl.us - 850-245-6333

11. Historic Preservationist Robin Jackson - Florida Division of Historical Resources - 500 S. Bronough Street Tallahassee, FL - Robin.Jackson@DOS.myflorida.com - 850-245-6333

"Exclusions" above set forth language provided by the Tribal Nation or SHPO. These exclusions may indicate types of PTC wayside pole notifications that the Tribal Nation or SHPO does not wish to review. TCNS automatically forwards all notifications to all Tribal Nations and SHPOs that have an expressed interest in the geographic area of a proposal. However, if a proposal falls within a designated exclusion, you need not expect any response and need not pursue any additional process with that Tribal Nation or SHPO. Exclusions may also set forth policies or procedures of a particular Tribal Nation or SHPO (for example, types of information that a Tribal Nation routinely requests, or a policy that no response within 30 days indicates no interest in participating in pre-construction review).

Please be advised that the FCC cannot guarantee that the contact(s) listed above opened and reviewed an electronic or regular mail notification. If you learn any of the above contact information is no longer valid, please contact the FCC. The following information relating to the proposed tower was forwarded to the person(s) listed above:

Notification Received: 01/31/2017
Notification ID: 151259
Tower Owner Individual or Entity Name: Vertex Development, LLC
Consultant Name: Mindi L Okai
Street Address: 10845 Olive Blvd.
Suite 260
City: St. Louis
State: MISSOURI
Zip Code: 63141
Phone: 314-997-6111
Email: tribal@trileaf.com

Structure Type: MTOWER - Monopole
Latitude: 28 deg 32 min 20.8 sec N
Longitude: 82 deg 37 min 8.0 sec W
Location Description: Cofer Road

City: Weeki Wachee
State: FLORIDA
County: HERNANDO
Detailed Description of Project: Legal Description: S29 T22S R17E
Ground Elevation: 1.6 meters
Support Structure: 57.9 meters above ground level
Overall Structure: 57.9 meters above ground level
Overall Height AMSL: 59.5 meters above mean sea level

If you have any questions or comments regarding this notice, please contact the FCC using the electronic mail form located on the FCC's website at:

<http://wireless.fcc.gov/outreach/notification/contact-fcc.html>.

You may also call the FCC Support Center at (877) 480-3201 (TTY 717-338-2824). Hours are from 8 a.m. to 7:00 p.m. Eastern Time, Monday through Friday (except Federal holidays). To provide quality service and ensure security, all telephone calls are recorded.

Thank you,
Federal Communications Commission



ENVIRONMENTAL • ARCHITECTURE • ENGINEERING

10845 Olive Boulevard, Suite 260, Saint Louis, Missouri 63141 • 314.997.6111 www.trileaf.com

March 1, 2017

Coushatta Tribe of Louisiana

Dr. Linda Langley

P.O. Box 10

Elton, LA 70532

RE: **Vertex Development, LLC – Weeki Wachee Gardens FL- 5197 – Trileaf Project # 615427**

Cofer Road, Weeki Wachee, Florida 34607

Hernando County, Weeki Wachee Spring Quadrangle (DeLorme)

Latitude: 28° 32' 20.79" N, Longitude: 82° 37' 7.99" W

UTM Zone: 44R 658385mE 3157994mN

Survey area: 0.16 acres

TCNS# 151259; Legal Description: *Section: 29, Township: 22S, Range: 17E*

Dear Dr. Langley:

This project was originally submitted to your tribe via TCNS on February 3, 2017; TCNS #151259. Trileaf Corporation is in the process of completing a NEPA Review at the above referenced property. Our investigation includes determining if the site is contained in, on, or within the viewshed of a building, site, district, structure or object, significant in American history, architecture, archeology, engineering or culture, that is listed or eligible for listing on the State or National Registers of Historic Places, or located in or on, or within the viewshed of an Indian Religious Site. Trileaf has learned your tribe has an interest in property located within this County.

Our client proposes to construct a 190-foot Monopole communications tower and associated equipment within a 70-foot by 70-foot (4,900 square feet) equipment lease area at the above property. The project includes a 35-foot wide proposed access and utility easement that extends south then southwest connecting with Cofer Road. Currently the site habitat consists of wooded land. The archeological report, Form 620/621, site location maps and photos are enclosed for your reference. The review fee is in the mail. Please let us know if you have any objections or comments on this project as soon as possible.

Please call me at (314) 997-6111 or email m.okai@trileaf.com or tribal@trileaf.com if you need additional information or have any questions. Thank you for your assistance in this regard.

Sincerely,

Mindi Okai

Tribal Consultation Manager



COUSHATTA TRIBE

OF LOUISIANA

HERITAGE DEPARTMENT

03/9/2017

Mindi Okai
Trileaf Corporation
10845 Olive Blvd., Ste 260
St. Louis, MO 63141

Dear Ms. Okai:

By this correspondence I am acknowledging receipt of your payment of \$500.00, in check number 69559, for TCNS #151259 at Cofer Road, Weeki Wachee, FL 34607.

At this time, I know of no known sacred or ceremonial sites in the immediate area, and do not require further Section 106 consultation on this project. However, if any cultural resources, such as, bone, pottery, stone tools, etc., are found during the construction phase we may elect to discuss additional mitigation steps, including on-site monitoring. In the event that archaeological properties or human remains are discovered during construction, please stop work and contact us immediately consistent with Section IX of the Nationwide Programmatic Agreement and applicable law.

Sincerely,

A handwritten signature in blue ink that reads "Linda Langley".

Linda Langley, Ph.D.
Tribal Historic Preservation Officer

KOWASSAATON NATHIHILKAS—LET US SPEAK KOASATI

From: towernotifyinfo@fcc.gov
To: [tribal](#)
Subject: Reply to Proposed Tower Structure (Notification ID: 151259) - Email ID #5000840
Date: Thursday, February 02, 2017 1:43:05 PM

Dear Mindi L Okai,

Thank you for using the Federal Communications Commission's (FCC) Tower Construction Notification System (TCNS). The purpose of this email is to inform you that an authorized user of the TCNS has replied to a proposed tower construction notification that you had submitted through the TCNS.

The following message has been sent to you from TCNS Coordinator Travis Patton of the Eastern Shawnee Tribe of Oklahoma in reference to Notification ID #151259:

The Cultural Preservation Office of the Eastern Shawnee Tribe of Oklahoma requires the following information and fees regarding all proposed FCC projects.

Please do not email documentation; it will be deleted without being opened. Mail one printed color copy of all documentation to address:

70500 E. 128 Rd.
Wyandotte, OK 74370

Please submit by US postal mail or other parcel carrier all of the following information for all telecommunication projects:

1. Please provide a 1-page cover letter with the following information:

a. TCNS Number

- b. Company Name
- c. Project Name, City, County, State
- d. Project type
- e. UTM coordinates using WGS84 (G1150)
- f. Total area surveyed in acres
- g. Contact information.

2. Professional cultural/archaeological resource survey report.

3. Aerial and/or USGS topographic maps showing general project location (small scale).

4. Aerial, color USGS topographic, or planimetric maps showing project area (large scale).

5. Project site plan map depicting labeled shovel test locations.

6. Shovel Test Log.

7. Site photographs.

8. A copy of the review letter or TCNS e-response from the State Historic Preservation Office and all other state-mandated review offices for projects involving ground disturbance.

9. Please submit a fee of \$550.00 per TCNS project for administration, data processing, handling, research and review. Make the check payable to the Eastern Shawnee Tribe of Oklahoma. On the memo line write all TCNS numbers. The fee is \$550 for all projects (new-builds, collocations, PTC poles, and projects in previously disturbed locations).

We request the opportunity to review and comment on scopes of work for projects whose purpose is to evaluate or mitigate archaeological sites discovered during a telecom project survey, and we also request to review the final reports for those projects.

NOTE: The 30 day review period begins when we, The Eastern Shawnee Tribe of Oklahoma, receive ALL required documentation for the TCNS submittal, not when it is sent out. If you have any question on a TCNS project and its review time please email Travis Patton at: tpatton@estoo.net.

The Eastern Shawnee Procedures document is available by email and is highly recommended for guidance. Send an email to Travis Patton at: tpatton@estoo.net.

For your convenience, the information you submitted for this notification is detailed below.

Notification Received: 01/31/2017

Notification ID: 151259

Tower Owner Individual or Entity Name: Vertex Development, LLC

Consultant Name: Mindi L Okai

Street Address: 10845 Olive Blvd.

Suite 260

City: St. Louis

State: MISSOURI

Zip Code: 63141

Phone: 314-997-6111

Email: tribal@trileaf.com

Structure Type: MTOWER - Monopole

Latitude: 28 deg 32 min 20.8 sec N

Longitude: 82 deg 37 min 8.0 sec W

Location Description: Cofer Road

City: Weeki Wachee

State: FLORIDA

County: HERNANDO

Detailed Description of Project: Legal Description: S29 T22S R17E

Ground Elevation: 1.6 meters

Support Structure: 57.9 meters above ground level

Overall Structure: 57.9 meters above ground level

Overall Height AMSL: 59.5 meters above mean sea level



ENVIRONMENTAL • ARCHITECTURE • ENGINEERING

10845 Olive Boulevard, Suite 260, Saint Louis, Missouri 63141 • 314.997.6111 www.trileaf.com

April 3, 2017

Eastern Shawnee Tribe of Oklahoma

Ms. Robin Dushane
Cultural Preservation Department
70500 East 128 Road
Wyandotte, OK 74370

RE: **Vertex Development, LLC – Weeki Wachee Gardens FL- 5197 – Trileaf Project # 615427**
Cofer Road, Weeki Wachee, Florida 34607
Hernando County, Weeki Wachee Spring Quadrangle (DeLorme)
Latitude: 28° 32' 20.79" N, Longitude: 82° 37' 7.99" W
UTM Zone: 44R 658385mE 3157994mN
Survey area: 0.16 acres
TCNS# 151259; Legal Description: *Section: 29, Township: 22S, Range: 17E*

Dear Ms. Dushane:

This project was originally submitted to your tribe via TCNS on February 3, 2017; TCNS #151259. Trileaf Corporation is in the process of completing a NEPA Review at the above referenced property. Our investigation includes determining if the site is contained in, on, or within the viewshed of a building, site, district, structure or object, significant in American history, architecture, archeology, engineering or culture, that is listed or eligible for listing on the State or National Registers of Historic Places, or located in or on, or within the viewshed of an Indian Religious Site. Trileaf has learned your tribe has an interest in property located within this County.

Our client proposes to construct a 190-foot Monopole communications tower and associated equipment within a 70-foot by 70-foot (4,900 square feet) equipment lease area at the above property. The project includes a 35-foot wide proposed access and utility easement that extends south then southwest connecting with Cofer Road. Currently the site habitat consists of wooded land. The archeological report, site location maps and photos are enclosed for your reference. The review fee and the SHPO response are also enclosed. Please let us know if you have any objections or comments on this project as soon as possible.

Please call me at (314) 997-6111 or email m.okai@trileaf.com or tribal@trileaf.com if you need additional information or have any questions. Thank you for your assistance in this regard.

Sincerely,

Mindi Okai
Tribal Consultation Manager



EASTERN SHAWNEE TRIBE OF OKLAHOMA

12755 S. 705 Road, Wyandotte, OK 74370
Bluejacket Building (918) 666-2435, Fax: 888-971-3905

Trileaf
ATTN: Mindi Okai
10845 Olive Boulevard, Suite 260
St. Louis, MO 63141

RE: Cell Tower Project Weeki Wachee Gardens, Weeki Wachee, Hernando County, FL
TCNS 151259

April 28, 2017

Dear Ms. Okai,

The Cultural Preservation Department of the Eastern Shawnee Tribe of Oklahoma (ESTO) has received the documentation for Trileaf's proposed telecommunications project, Weeki Wachee Gardens, located at UTM Zone 17, 658385 m E, 3157994 m N (WGS84) in/near Weeki Wachee in Hernando County, FL. ESTO has reviewed the project, TCNS 151259, in accordance with Section 106 of the National Historic Preservation Act (NHPA). Based on the information provided and a review of our records, we find that **No Historic Properties** of sacred and/or cultural significance to the Tribe will be impacted by this project. Therefore, ESTO has no objection to the project proceeding as described; however, please note that any future changes to this project may require additional consultation.

In accordance with the NHPA of 1966 (16 U.S.C. § 470-470w-6), federally funded, licensed, or permitted undertakings that are subject to the Section 106 review process must determine effects to significant historic properties. As clarified in Section 101(d)(6)(A-B), historic properties may have religious and/or cultural significance to Indian Tribes. Section 106 of NHPA requires Federal agencies to consider the effects of their actions on all significant historic properties (36 CFR Part 800) as does the National Environmental Policy Act of 1969 (43 U.S.C. § 4321-4347 and 40 CFR § 1501.7(a)). **This letter evidences NHPA and NEPA historic properties compliance pertaining to consultation with this Tribe in regard to the proposed project referenced as Weeki Wachee Gardens, TCNS 151259.**

However, if during construction cultural objects or human remains are inadvertently discovered, please stop work immediately and contact the Cultural Preservation Department of the Eastern Shawnee Tribe of Oklahoma.

Thank you for consulting with the Eastern Shawnee Tribe of Oklahoma.

Robin Dushane
Tribal Historic Preservation Officer

Tribal Archaeologist



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March 1, 2017

Muscogee Creek Nation

Ms. Elizabeth Martel
P.O. Box 580
Highway 75 and Loop 56
Okmulgee, OK 74447

RE: **Vertex Development, LLC – Weeki Wachee Gardens FL- 5197 – Trileaf Project # 615427**
Cofer Road, Weeki Wachee, Florida 34607
Hernando County, Weeki Wachee Spring Quadrangle (DeLorme)
Latitude: 28° 32' 20.79" N, Longitude: 82° 37' 7.99" W
UTM Zone: 44R 658385mE 3157994mN
Survey area: 0.16 acres
TCNS# 151259; Legal Description: *Section: 29, Township: 22S, Range: 17E*

Dear Ms. Martel:

This project was originally submitted to your tribe via TCNS on February 3, 2017; TCNS #151259. Trileaf Corporation is in the process of completing a NEPA Review at the above referenced property. Our investigation includes determining if the site is contained in, on, or within the viewshed of a building, site, district, structure or object, significant in American history, architecture, archeology, engineering or culture, that is listed or eligible for listing on the State or National Registers of Historic Places, or located in or on, or within the viewshed of an Indian Religious Site. Trileaf has learned your tribe has an interest in property located within this County.

Our client proposes to construct a 190-foot Monopole communications tower and associated equipment within a 70-foot by 70-foot (4,900 square feet) equipment lease area at the above property. The project includes a 35-foot wide proposed access and utility easement that extends south then southwest connecting with Cofer Road. Currently the site habitat consists of wooded land. The archeological report, Form 620/621, site location maps and photos are enclosed for your reference. The review fee along with a CD of the project is also enclosed. Please let us know if you have any objections or comments on this project as soon as possible.

Please call me at (314) 997-6111 or email m.okai@trileaf.com or tribal@trileaf.com if you need additional information or have any questions. Thank you for your assistance in this regard.

Sincerely,

Mindi Okai
Tribal Consultation Manager



*Muscogee (Creek) Nation of Oklahoma
Historical and Cultural Preservation*

April 6, 2017

Mindi Okai
Trileaf
10845 Olive Boulevard
Suite 260
Saint Louis, MO 63141

**RE: TCNS #151259
Weeki Wachee Gardens
North of Cofer Road and West of Shoal Line Blvd
Weeki Wachee, Hernando County, FL**

Dear Ms. Okai,

In keeping with the Federal Communications Commission (FCC), the National Environmental Policy Act (NEPA), and Section 106 of the National Historic Preservation Act (NHPA), 36 CFR Part 800, this letter is to acknowledge that the Muscogee (Creek) Nation has received notice of the proposed construction of a 190 ft. monopole communications tower at the above referenced location.

After reviewing all pertinent information and our records, at this time we are currently unaware of any historic cultural, religious or sacred sites at this exact location. Therefore, we recommend a finding of **"No historic properties in APE"** for the proposed undertaking.

Furthermore, due to the historic presence of our people in the project area, inadvertent discoveries of human remains and related NAGPRA items may occur, even in areas of existing or prior development. Should this occur, we request all work cease and the Muscogee (Creek) Nation and other appropriate agencies be notified immediately.

Should further information or comment be required please do not hesitate to contact me at (918) 732-7639, fax: (918) 758-0649, or by e-mail: emartel@mcn-nsn.gov.

Sincerely,

Anne Edwards-Martel, TCNS Coordinator
Muscogee (Creek) Nation

*Muscogee (Creek) Nation Tribal Complex
Highway 75 & Loop 56 • P.O. Box 580 • Okmulgee, OK 74447
Phone: 918-732-7733 • Fax: 918-758-0649 • Web: www.muscogeenation-nsn.gov*

From: towernotifyinfo@fcc.gov
To: [tribal](#)
Cc: tcns.fccarchive@fcc.gov; isham.t@sno-nsn.gov
Subject: Reply to Proposed Tower Structure (Notification ID: 151259) - Email ID #5015120
Date: Thursday, February 09, 2017 8:09:38 AM

Dear Mindi L Okai,

Thank you for using the Federal Communications Commission's (FCC) Tower Construction Notification System (TCNS). The purpose of this email is to inform you that an authorized user of the TCNS has replied to a proposed tower construction notification that you had submitted through the TCNS.

The following message has been sent to you from Historic Preservation Officer Theodore Isham of the Seminole Nation of Oklahoma in reference to Notification ID #151259:

The Seminole Nation of Oklahoma has an interest in this site and would like the applicant to contact us to begin the review process. The SNO reserves the right to review this project. Reply to Theodore Isham SNO HPO at isham.t@sno-nsn.gov

The Seminole Nation of Oklahoma would like these items sent to us via email or attached to this FCC web portal site.

We would like to see, a map and something such as a an aerial view as taken using Google Earth, either the Form 620 or 621, a cultural resource report prepared by a CRM firm and that included a site visit or records review by a qualified archeologist.

Also, SNO requests the state's site file listing of not only the eligible sites nearby but also all other listed sites (even not-eligible) that are nearby the project. (1 mile radius)

A review fee set forth by the Seminole Nation Tribal Council of \$800.00 is due upon notice of intent to review a project.

Review Fee will be Mailed to:

Sherri D Little

Seminole Nation of Oklahoma

Treasurer

36645 Hwy 270, for fed ex or PO Box 1498

Wewoka, OK 74884

Thank you for your quick response and as soon as all items are received we will complete the review as timely as possible.

Theodore Isham

SNO HPO

405-234-5218

For your convenience, the information you submitted for this notification is detailed below.

Notification Received: 01/31/2017

Notification ID: 151259

Tower Owner Individual or Entity Name: Vertex Development, LLC



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10845 Olive Boulevard, Suite 260, Saint Louis, Missouri 63141 • 314.997.6111 www.trileaf.com

March 1, 2017

Seminole Nation of Oklahoma

Mr. Theodore Isham

P.O. Box 1498

Wewoka, OK 74884

RE: **Vertex Development, LLC – Weeki Wachee Gardens FL- 5197 – Trileaf Project # 615427**

Cofer Road, Weeki Wachee, Florida 34607

Hernando County, Weeki Wachee Spring Quadrangle (DeLorme)

Latitude: 28° 32' 20.79" N, Longitude: 82° 37' 7.99" W

UTM Zone: 44R 658385mE 3157994mN

Survey area: 0.16 acres

TCNS# 151259; Legal Description: *Section: 29, Township: 22S, Range: 17E*

Dear Mr. Isham:

This project was originally submitted to your tribe via TCNS on February 3, 2017; TCNS #151259. Trileaf Corporation is in the process of completing a NEPA Review at the above referenced property. Our investigation includes determining if the site is contained in, on, or within the viewshed of a building, site, district, structure or object, significant in American history, architecture, archeology, engineering or culture, that is listed or eligible for listing on the State or National Registers of Historic Places, or located in or on, or within the viewshed of an Indian Religious Site. Trileaf has learned your tribe has an interest in property located within this County.

Our client proposes to construct a 190-foot Monopole communications tower and associated equipment within a 70-foot by 70-foot (4,900 square feet) equipment lease area at the above property. The project includes a 35-foot wide proposed access and utility easement that extends south then southwest connecting with Cofer Road. Currently the site habitat consists of wooded land. The archeological report, Form 620/621, site location maps and photos are enclosed for your reference. The review fee is in the mail. Please let us know if you have any objections or comments on this project as soon as possible.

Please call me at (314) 997-6111 or email m.okai@trileaf.com or tribal@trileaf.com if you need additional information or have any questions. Thank you for your assistance in this regard.

Sincerely,

Mindi Okai

Tribal Consultation Manager

Christine Watters

From: towernotifyinfo@fcc.gov
Sent: Thursday, March 09, 2017 10:03 AM
To: tribal
Cc: tcns.fccarchive@fcc.gov; isham.t@sno-nsn.gov
Subject: Reply to Proposed Tower Structure (Notification ID: 151259) - Email ID #5074309

Dear Mindi L Okai,

Thank you for using the Federal Communications Commission's (FCC) Tower Construction Notification System (TCNS). The purpose of this email is to inform you that an authorized user of the TCNS has replied to a proposed tower construction notification that you had submitted through the TCNS.

The following message has been sent to you from Historic Preservation Officer Theodore Isham of the Seminole Nation of Oklahoma in reference to Notification ID #151259:

This Opinion is being provided by Seminole Nation of Oklahoma's Cultural Advisor, pursuant to authority vested by the Seminole Nation of Oklahoma General Council. The Seminole Nation of Oklahoma is an independently Federally-Recognized Indian Nation headquartered in Wewoka, OK.

In keeping with the Federal Communications Commission (FCC), the National Environmental Policy Act (NEPA)d, and Section 106 of the National Historic Preservation Act (NHPA), 36 CFR Part 800, this letter is to acknowledge that the Seminole Nation of Oklahoma has received notice of the proposed construction of a wireless telecommunications tower and at the above mentioned location.

After reviewing all pertinent information and our records, at this time we are unaware of any historic, cultural, religious or sacred sites at this exact location. The Seminole Nation of Oklahoma requests that a literature/phases survey of the nearby archaeological sites from the states master site files be completed. (Within 0.5 mile of APE) Therefore, we will recommend a finding of "No Effect" for the proposed undertaking once all documents requested are produced. The Seminole Nation of Oklahoma will have no objection to the proposed construction of: TCNS#151259 Furthermore, due to the historic presence of our people in the project area, inadvertent discoveries of human remains and related NAGPRA items may occur, even in areas of existing or prior development. Should this occur we request all work cease and the Seminole Nation of Oklahoma and other appropriate agencies be immediately notified.

It is the duty of the agency official to "acknowledge that Indian tribes and Native Hawaiian organizations possess special expertise in assessing the eligibility of historic properties that may possess religious and cultural significance to them." As a contractor, you are aware of expenses that are incurred to provide your professional services. The Seminole Nation of Oklahoma is also being asked to provide a professional service and therefore, should be compensated for their expertise. Our fee of \$800.00 per site. If tribal representatives should have to travel to the site area, mileage, per diem and lodging, should be paid for by the Cell Tower Contractor.

If you have any questions, please feel free to contact me at (405) 234-5218 or by e-mail at isham.t@sno-nsn.gov. Thank you for your time and cooperation in this matter.

Invoice

By performing this preliminary cultural site assessment, The Seminole Nation of Oklahoma is providing a professional service, and therefore, must be compensated. As the contractor, you are cognizant of various expenses that are typically incurred in order to provide this type of professional service and opinion. Our review fee of \$800.00 per Tower, per site for new construction and \$800.00 for co-located construction will be sufficient to cover our time and expenses. Thank you for your cooperation. Should you have any questions about this opinion, release or invoice, please contact HPO Theodore Isham at Seminole Nation of Oklahoma (405)257-7203, or by e-mail isham.t@sno-nsn.gov . Payment of this invoice should be made by check and be addressed and sent to the following mailing address:

Review Fee will be Mailed to:
Sherri D Little
Seminole Nation of Oklahoma
Treasurer
36645 Hwy 270, for FedEx or PO Box 1498 Wewoka, OK 74884

For your convenience, the information you submitted for this notification is detailed below.

Notification Received: 01/31/2017
Notification ID: 151259
Tower Owner Individual or Entity Name: Vertex Development, LLC
Consultant Name: Mindi L Okai
Street Address: 10845 Olive Blvd.
Suite 260
City: St. Louis
State: MISSOURI
Zip Code: 63141
Phone: 314-997-6111
Email: tribal@trileaf.com

Structure Type: MTOWER - Monopole
Latitude: 28 deg 32 min 20.8 sec N
Longitude: 82 deg 37 min 8.0 sec W
Location Description: Cofer Road
City: Weeki Wachee
State: FLORIDA
County: HERNANDO

Detailed Description of Project: Legal Description: S29 T22S R17E
Ground Elevation: 1.6 meters
Support Structure: 57.9 meters above ground level
Overall Structure: 57.9 meters above ground level
Overall Height AMSL: 59.5 meters above mean sea level

From: towernotifyinfo@fcc.gov
To: tribal
Cc: tcns.fccarchive@fcc.gov; bradleymueller@semtribe.com
Subject: Reply to Proposed Tower Structure (Notification ID: 151259) - Email ID #5000762
Date: Thursday, February 02, 2017 11:45:40 AM

Dear Mindi L Okai,

Thank you for using the Federal Communications Commission's (FCC) Tower Construction Notification System (TCNS). The purpose of this email is to inform you that an authorized user of the TCNS has replied to a proposed tower construction notification that you had submitted through the TCNS.

The following message has been sent to you from Compliance Review Supervisor Bradley M Mueller of the Seminole Tribe of Florida in reference to Notification ID #151259:

Once the Tribe has received its initial notification the STOF will issue an invoice to the consultant. . Checks should be made payable to Seminole Tribe of Florida and mailed to: Seminole Tribe of Florida, Accounts Receivable, 6300 Stirling Road, Hollywood, FL 33024. Please include the TCNS numbers and invoice number on the memo line of the check in order for us to track your project payment. Please provide submittal documents included 620/621 forms and archaeological assessment/report to bradleymueller@semtribe.com

For your convenience, the information you submitted for this notification is detailed below.

Notification Received: 01/31/2017
Notification ID: 151259
Tower Owner Individual or Entity Name: Vertex Development, LLC
Consultant Name: Mindi L Okai
Street Address: 10845 Olive Blvd.
Suite 260
City: St. Louis
State: MISSOURI
Zip Code: 63141
Phone: 314-997-6111
Email: tribal@trileaf.com

Structure Type: MTOWER - Monopole
Latitude: 28 deg 32 min 20.8 sec N
Longitude: 82 deg 37 min 8.0 sec W
Location Description: Cofer Road
City: Weeki Wachee
State: FLORIDA
County: HERNANDO

Detailed Description of Project: Legal Description: S29 T22S R17E
Ground Elevation: 1.6 meters
Support Structure: 57.9 meters above ground level
Overall Structure: 57.9 meters above ground level
Overall Height AMSL: 59.5 meters above mean sea level



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March 1, 2017

Seminole Tribe of Florida

Mr. Bradley Mueller
Accounts Receivable
6300 Stirling Road
Hollywood, FL 33024

RE: **Vertex Development, LLC – Weeki Wachee Gardens FL- 5197 – Trileaf Project # 615427**
Cofer Road, Weeki Wachee, Florida 34607
Hernando County, Weeki Wachee Spring Quadrangle (DeLorme)
Latitude: 28° 32' 20.79" N, Longitude: 82° 37' 7.99" W
UTM Zone: 44R 658385mE 3157994mN
Survey area: 0.16 acres
TCNS# 151259; Legal Description: *Section: 29, Township: 22S, Range: 17E*

Dear Mr. Mueller:

This project was originally submitted to your tribe via TCNS on February 3, 2017; TCNS #151259. Trileaf Corporation is in the process of completing a NEPA Review at the above referenced property. Our investigation includes determining if the site is contained in, on, or within the viewshed of a building, site, district, structure or object, significant in American history, architecture, archeology, engineering or culture, that is listed or eligible for listing on the State or National Registers of Historic Places, or located in or on, or within the viewshed of an Indian Religious Site. Trileaf has learned your tribe has an interest in property located within this County.

Our client proposes to construct a 190-foot Monopole communications tower and associated equipment within a 70-foot by 70-foot (4,900 square feet) equipment lease area at the above property. The project includes a 35-foot wide proposed access and utility easement that extends south then southwest connecting with Cofer Road. Currently the site habitat consists of wooded land. The archeological report, Form 620/621, site location maps and photos are enclosed for your reference. The review fee is in the mail. Please let us know if you have any objections or comments on this project as soon as possible.

Please call me at (314) 997-6111 or email m.okai@trileaf.com or tribal@trileaf.com if you need additional information or have any questions. Thank you for your assistance in this regard.

Sincerely,

Mindi Okai
Tribal Consultation Manager

From: [Victoria Menchaca](#)
To: [Mindi Okai](#)
Subject: TCNS #151259 (Weeki Wachee Gardens FL-5197, Hernando County, FL)
Date: Monday, March 13, 2017 1:15:46 PM



March 13, 2017

Ms. Mindi Okai, Tribal Consultation Manager
Trileaf
10845 Olive Blvd, Suite 260
Saint Louis, MO 63141
Phone: (314) 997-6111
Email: m.okai@trileaf.com

Subject: TCNS #151259 (Weeki Wachee Gardens FL-5197, Hernando County, FL) – Project Assessment (Tribal Research and Section 106 Evaluation).
THPO #: 0029670

Dear Ms. Okai,

Thank you for contacting the Seminole Tribe of Florida – Tribal Historic Preservation Office (STOF-THPO) regarding TCNS #151259 (Weeki Wachee Gardens FL-5197, Hernando County, FL) – Project Assessment (Tribal Research and Section 106 Evaluation). The proposed undertaking does fall within the STOF Area of Interest. We have reviewed the documents you provided and completed our project assessment in order to determine if the undertaking would affect any areas important to the Tribe. We have determined that we have no objections to the project at this time. Please notify us if any archaeological, historical, or burial resources are inadvertently discovered during the construction process. Thank you and feel free to contact us with any questions or concerns.

Sincerely,

Victoria L. Menchaca, MA, Compliance Review Specialist
STOF-THPO, Compliance Review Section
30290 Josie Billie Hwy, PMB 1004
Clewiston, FL 33440
Office: 863-983-6549 ext. 12216
Fax: 863-902-1117
Email: victoriamenchaca@semttribe.com
Web: www.stofthpo.com

Thlopthlocco Tribal Town
c/o Finley & Cook
Attn: Jeanie Willis
601 N. Broadway
Shawnee, OK 74801

INVOICE

Mindi Okai
Various clients
10845 Olive Blvd.
Suite 260
St. Louis, MO MISSOURI 63141

Invoice # 151259
Invoice Date 02/01/2017
Due Date 02/01/2017

Item	Description	Unit Price	Quantity	Amount
	FCC TCNS Review for Vertex	800.00	1.00	800.00
<p>NOTES: PLEASE SEND ARCHEOLOGICAL REPORTS, MAPS, ETC. IF YOU HAVE NOT ATTACHED IT TO THE TCNS LISTING ASAP to: thlopthloccotribaltowntowers@gmail.com with a CC to: espain@tttown.org</p> <p>All invoices are net 30, no exceptions. If a tower has been abandoned, PLEASE NOTIFY WITHIN 7 days of filing with TCNS to avoid review and review fee. If not notified of abandonment via email to thlopthloccotribaltowntowers@gmail, review will take place and fee will be due and owing.</p> <p>Thank you.</p>				
		Subtotal		800.00
		Total		800.00
		Amount Paid		0.00
		Balance Due		\$800.00



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March 1, 2017

Thlopthlocco Tribal Town

Mr. Emman Spain
P.O. Box 188
Okemah, OK 74859

RE: **Vertex Development, LLC – Weeki Wachee Gardens FL- 5197 – Trileaf Project # 615427**
Cofer Road, Weeki Wachee, Florida 34607
Hernando County, Weeki Wachee Spring Quadrangle (DeLorme)
Latitude: 28° 32' 20.79" N, Longitude: 82° 37' 7.99" W
UTM Zone: 44R 658385mE 3157994mN
Survey area: 0.16 acres
TCNS# 151259; Legal Description: *Section: 29, Township: 22S, Range: 17E*

Dear Mr. Spain:

This project was originally submitted to your tribe via TCNS on February 3, 2017; TCNS #151259. Trileaf Corporation is in the process of completing a NEPA Review at the above referenced property. Our investigation includes determining if the site is contained in, on, or within the viewshed of a building, site, district, structure or object, significant in American history, architecture, archeology, engineering or culture, that is listed or eligible for listing on the State or National Registers of Historic Places, or located in or on, or within the viewshed of an Indian Religious Site. Trileaf has learned your tribe has an interest in property located within this County.

Our client proposes to construct a 190-foot Monopole communications tower and associated equipment within a 70-foot by 70-foot (4,900 square feet) equipment lease area at the above property. The project includes a 35-foot wide proposed access and utility easement that extends south then southwest connecting with Cofer Road. Currently the site habitat consists of wooded land. The site location maps, photos, Form 620/621 and archeological report are enclosed for your reference. The review fee for this project is in the mail. Please let us know if you have any objections or comments on this project as soon as possible.

Please call me at (314) 997-6111 or email m.okai@trileaf.com or tribal@trileaf.com if you need additional information or have any questions. Thank you for your assistance in this regard.

Sincerely,

Mindi Okai
Tribal Consultation Manager

From: towernotifyinfo@fcc.gov
To: [tribal](#)
Cc: [tcns.fccarchive@fcc.gov](#); [thpo@tttown.org](#); [thlopthloccotribaltowntowers@gmail.com](#)
Subject: Reply to Proposed Tower Structure (Notification ID: 151259) - Email ID #5087533
Date: Monday, March 20, 2017 8:22:39 AM

Dear Mindi L Okai,

Thank you for using the Federal Communications Commission's (FCC) Tower Construction Notification System (TCNS). The purpose of this email is to inform you that an authorized user of the TCNS has replied to a proposed tower construction notification that you had submitted through the TCNS.

The following message has been sent to you from THPO Emman Spain of the Thlopthlocco Tribal Town in reference to Notification ID #151259:

Thlopthlocco Tribal Town has received your project. Upon review of information received and consulting our records, we are unaware of any culturally significant sites within the project APE. However, should any human remains be inadvertently discovered, please cease all work and contact our THPO at espain@tttown.org immediately. Thank you.

For your convenience, the information you submitted for this notification is detailed below.

Notification Received: 01/31/2017
Notification ID: 151259
Tower Owner Individual or Entity Name: Vertex Development, LLC
Consultant Name: Mindi L Okai
Street Address: 10845 Olive Blvd.
Suite 260
City: St. Louis
State: MISSOURI
Zip Code: 63141
Phone: 314-997-6111
Email: tribal@trileaf.com

Structure Type: MTOWER - Monopole
Latitude: 28 deg 32 min 20.8 sec N
Longitude: 82 deg 37 min 8.0 sec W
Location Description: Cofer Road
City: Weeki Wachee
State: FLORIDA
County: HERNANDO

Detailed Description of Project: Legal Description: S29 T22S R17E
Ground Elevation: 1.6 meters
Support Structure: 57.9 meters above ground level
Overall Structure: 57.9 meters above ground level
Overall Height AMSL: 59.5 meters above mean sea level

Wetland Delineation Report

**Weeki Wachee Gardens FL-5197
Shoal Line Boulevard
Spring Hill, Florida 34607**

Prepared For:
Vertex Development, LLC
405 South Dale Mabry Highway, Suite 244
Tampa, Florida 33609

Trileaf #: 615427



January 23, 2015

A. Scope of Work

Trileaf was contracted by Vertex Development, LLC to determine the landward extent of wetlands on the southwest portion of parcel # R29-422-17-0000-0010-0010 located off Shoal Line Boulevard, Spring Hill, Hernando County, Florida 34607. The site currently contains a historic borrow pit, swampland, and hardwood forest. Vertex Development proposes to construct a 190' monopole communications tower and associated equipment within a 100' by 100' lease area, and install utilities and access on an approximately 20'-wide easement extending towards Cofer Road to the South. The proposed tower site is located in an undeveloped Slash Pine and hardwood forest northwest of the intersection of Cofer Road and Shoal Line Boulevard in Hernando County, Florida.

B. Wetland Survey

On January 20, 2015, Trileaf performed a wetland survey on the subject property. The landward extent of wetlands was determined using vegetation, soil analysis, and hydrologic indicators per FAC 62-340 "Delineation of the Landward Extent of Wetlands and Surface Waters" (FDEP 1994). A total of twenty-eight (28) flagged metal stakes were placed to mark the landward extent of the wetlands. An aerial photograph indicating the location of wetland flags is attached.

Vegetation: Facultative Wet, Upland, and Facultative vegetation were identified on the subject property. The different categories of vegetation and their percentage of occurrence are a factor in determining if the area is a wetland. Most of the property was primarily dominated by facultative, facultative upland, and upland species such as:

1. Cabbage Palmetto (*Sabal palmetto*)
2. Longleaf Pine (*Pinus taeda*)
3. Saw Palmetto (*Serenoa repens*)
4. Sarsparilla vine (*Smilax pumila*)

The wetlands exhibited a range of facultative wet to obligate species as listed below:

1. Cutgrass – (*Leersia spp.*)
2. Bluestem – *Andropogon spp.*
3. Red Maple – (*Acer Rubrum*)
4. Sweet-bay – (*Magnolia virginiana*)
5. Laurel Oak – (*Quercus laurifolia*)
6. Slash Pine (*Pinus elliotii*)

Soils: Soils on the subject property are dominated by poorly drained sandy soils consisting of several spodosol species. The wetland areas also contain sandy soils, but with poorly drained histosols.

Hydrologic Indicators: Sediment deposition and hydrologic data were the indicators used for this study.

C. Remarks/Recommendations

Our survey included a comprehensive study of site conditions guided by the requirements set forth in FAC 62-340 "Delineation of the Landward Extent of Wetlands and Surface Waters." This rule was promulgated in 1994 and is used by all state regulatory agencies for the identification of wetlands and surface waters of the State of Florida. 62-340 requires that two of the three indicators listed in Section B above are present on a site in order for it to be considered a wetland. Two of the three indicators were found in two areas of the Weeki Wachee site as indicated on the attached aerial map.

Although some of the areas within the proposed development area had facultative wet vegetation and occasional wetland soils, only the depressional wetland area on the western periphery of the parcel and the historic borrow pit on the eastern half of the parcel met the definition of wetland as defined in the rule and were therefore flagged.

All wetland delineations are subject to regulatory approval. Work in wetlands or their buffers may require permits from the Army Corps of Engineers and/or the Florida Department of Environmental Protection and/or the local water management agency. Work in wetland area may also require mitigation for impacted wetland areas. If the proposed structure cannot be located outside these regulated areas, Trileaf can assist in obtaining the appropriate regulatory approval. If any changes are made to the property's elevation or drainage, the results of this evaluation may vary accordingly.

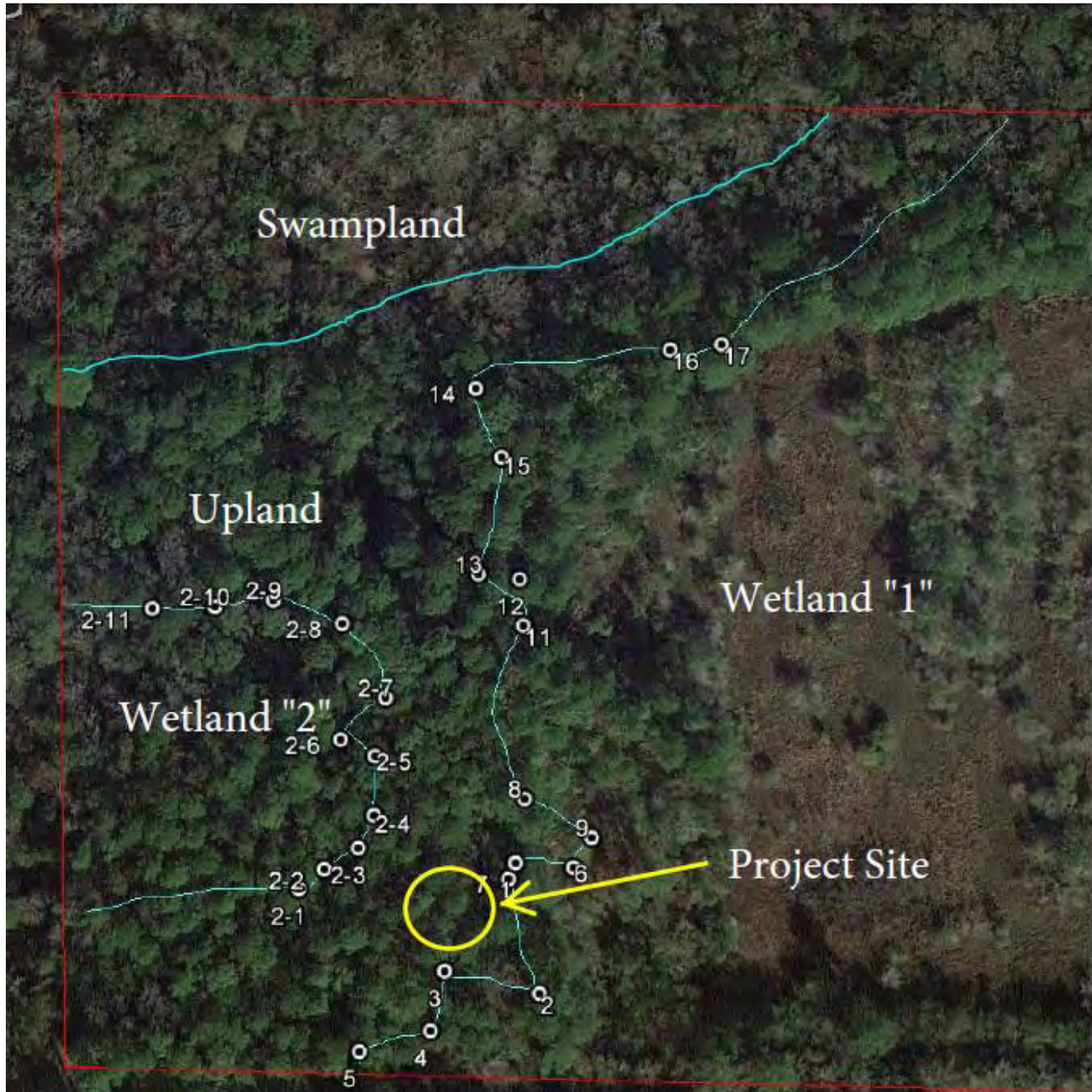
D. References

1. Florida Wetland Plants: An Identification Manual (DEP January 1998)
2. Hernando County GIS mapping online services
3. F.A.C 62-340 “Delineation of the Landward Extent of Wetlands and Surface Waters” (Florida DEP 1994)
4. Munsell Soil Color Charts (Munsell 1931)
5. ISB: Atlas of Florida Vascular Plants (On-line Service 2015)
6. Google Earth on-line mapping services (Google 2015)
7. Wetland Delineation Methodology (Florida DEP 1997)
8. National Wetland Inventory “Wetlands Mapper” (US Fish and Wildlife 2013)
9. University of Florida Aerial Photo Archive (UF 2015)
10. Hernando County Soil Survey (USDA)

Wetland Delineation Aerial Map
Weeki Wachee Gardens FL-5197



North



Note: Locations shown are approximate and should not be used for determining exact distances, buffers, etc. Wetland flags were field located by Geoline Surveyors on the day of the delineation.



Appendix G

Resumes



EDGAR CASTRO TELLO

PROJECT SCIENTIST

Education

B.S. in Interdisciplinary Studies – Environmental Studies
University of Central Florida / Orlando, FL

Areas of Expertise

Mr. Castro has experience with performing migratory bird evaluations for wireless communications projects, assessing migratory bird behaviors, the Migratory Bird Treaty Act, and Bald and Golden Eagle Protection Act.

Mr. Castro has experience performing site inspections and conducting environmental due diligence pursuant to EPA All Appropriate Inquiries (AAI) and the American Society of Testing and Materials (ASTM), as well as performing National Environmental Policy Act (NEPA) reviews for commercial real estate, lending, and wireless telecommunications projects.

Environmental service expertise includes the preparation and/or review of:

Phase I Environmental Site Assessments
Historical City Directories
Indoor Air Quality Assessments
Asbestos Inspections
National Wetlands Inventory Maps
Flood Insurance Rate Maps
Critical Habitat Maps
Migratory Bird Evaluations

Field Reconnaissance
Historical Topographic Maps and Aerial Imagery
Land Use History
Mold and Lead-Based Paint Surveys
Soil and Groundwater Management Plans
NEPA Environmental Assessments
Soil Characterization
Local Government Consultation

Additionally, Mr. Castro has prior independent research experience in sustainability and sociology with a focus on a multidisciplinary approach to environmental issues.

Certifications/Affiliations

ANSI/FCC RF Radiation Safety Competent Person
Certified Asbestos Building Inspector – FL (License #AA082516II01)



LAUREN LANOUX

PROJECT SCIENTIST

Education

B.S Interdisciplinary Studies.
University of Central Florida / Orlando, FL

Areas of Expertise

Ms. Lanoux has experience performing site inspections and conducting environmental due diligence pursuant to EPA All Appropriate Inquiries (AAI) and the American Society of Testing and Materials (ASTM) for wireless telecommunications projects.

Ms. Lanoux has experience with performing migratory bird evaluations for wireless communications projects, assessing migratory bird behaviors, the Migratory Bird Treaty Act, and Bald and Golden Eagle Protection Act.

Environmental service expertise includes the preparation and/or review of:

Phase I Environmental Site Assessments
Historical City Directories
Environmental Evaluation Summaries
Informal Section 7 Consultation
National Wetlands Inventory Maps
Flood Insurance Rate Maps
Critical Habitat Maps
Soil Characterization
Archaeological and Architectural Impacts

Field Reconnaissance
Historical Topographic Maps and Aerial Imagery
Land Use History
Section 106 Compliance
NEPA Environmental Assessments
Form 620/621 Submittals
Local Government Consultation
Migratory Bird Evaluations
Native American Consultation

Certifications/Affiliations

ANSI/FCC RF Radiation Safety Competent Person
OSHA 40 Hour HAZWOPER



SARAH MORALES

PROJECT MANAGER

Education

B.S. Interdisciplinary Studies (Natural Science/Commerce), Environmental Studies
University of Central Florida / Orlando, Florida

Areas of Expertise

Ms. Morales has experience with the investigation and management of environmental due diligence pursuant to EPA All Appropriate Inquiries (AAI) and the American Society of Testing and Materials (ASTM), as well as National Environmental Policy Act (NEPA) and environmental permitting projects. Ms. Morales operates as the primary point-of-contact for clients over a large geography, specializing within the Southeast Region of the United States.

Environmental service expertise includes:

Environmental Site Assessments	Vendor Management
Environmental Evaluation Summaries	Critical Habitat and Species Review
Indoor Air Quality Assessments	Migratory Bird Evaluations
CERCLA Liability	Nationwide Programmatic Agreement Review
FCC Regulatory Compliance	Soil Characterization
NEPA Environmental Assessments	DAS In-Building Limited Site Inspections
FAA Aeronautical Studies	Soil and Groundwater Management
Environmental Evaluation Summary	Local Government/Agency Coordination
Environmental Permitting	Lead and Asbestos Analysis

Certifications/Affiliations

OSHA 40-Hour HAZWOPER
OSHA #511 Occupational Safety and Health Standards for General Industry
Certified Florida Mold Assessor – License #MRSA665
ANSI/FCC RF Radiation Safety Competent Person
Environmental Professional (EP) as defined by ASTM Standard E1527-13 (AAI)
Florida Association of Environmental Professionals
Central Florida Association of Environmental Professionals

Appendix 7.3
Construction Drawings

USA Engineering -- T:\00-2016 PROJECTS\25-Vertex Development\WEEK1 WACHEE GARDENS - FL-5159 DESIGN\WEEK1 WACHEE GARDENS_CD2.dwg June 23, 2017 2:28:45 PM brandonf

General Conditions:

1. These Specifications and Construction Drawings are intended to be fully explanatory and complementary. However, should anything be shown, indicated or specified on one and not the other, it shall be the same as if shown, indicated or specified on both.
2. The intention of the documents is to include all labor and materials reasonably necessary for the proper execution and completion of the work as indicated in the documents.
3. Minor deviations from the design layout are anticipated and shall be considered as part of the work; however, no changes that alter the character intent of the design shall be made or permitted by the Subcontractors, without express written Consent from the Construction Manager.
4. The Contractor is solely responsible for all site safety including but not limited to protection of all site personnel and the general public during the entire site construction period. The Contractor shall take all reasonable precautions to place and maintain barricades, lamps, signs, and the like in accordance with OSHA Safety Act and ANSI occupational guidelines.

Conflicts:

1. The Contractor and each Subcontractor shall be responsible for verification of all measurements at the site before ordering any materials or performing any work. No Change Order, extra charge or compensation shall be allowed due to difference between actual dimensions and dimensions indicated on the neither Construction Drawings nor Specifications. Any such discrepancy in dimension which may inadvertently occur shall be submitted to the Construction Manager for consideration before the Contractor proceeds with the work in the affected area.
2. The Contractor shall contact a subsurface utility locator for location of existing utilities prior to commencement of any construction activities. For assistance in locating existing utilities call "SUNSHINE STATE ONE CALL" at 1-800-638-4097.
3. Damage by the Contractor to utilities or property of others, including existing pavement and other surfaces disturbed by the Contractor during construction shall be repaired to pre-construction conditions by the Contractor. For grassed areas seed and mulch shall be acceptable.

Inspections:

1. The Contractor shall be solely responsible for ensuring that all relevant authority inspections are carried out in a timely manner.

As-Built Drawings:

1. The Contractor shall prepare a red-lined set of As-Built Drawings.

Environmental Protection

1. Noise Level: The Contractor shall ensure that state and local regulations are complied with in regard to noise levels produced by his or his sub-Contractor's equipment or methods of construction.
2. Dust Control: The Contractor shall take all necessary steps to limit the creation of any dust nuisance that might arise during construction to the satisfaction of the local authorities.
3. ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE LAND DEVELOPMENT CODE SHALL BE IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.

Clean Up:

1. The Subcontractors shall at all times keep the site free from accumulation of waste materials or rubbish caused by their employees at work, and at the completion of the work, they shall remove all rubbish from and about the building, including all tools, scaffolding and surplus materials, and shall leave the work clean and ready for use.

Code Compliance:

1. All materials, design, and workmanship shall be in accordance with all applicable codes (some of which are listed below), ordinances, and authorities having jurisdiction over the work. Where no codes exist, the work shall conform to the 2012 Florida Building Code, and/or the specifications herein, whichever is more stringent.

City/County Building Codes
2014 Florida Building Code 5th Edition
EIA/TIA-222 Rev. G
Florida Fire Prevention Code 5th Edition
Life Safety Code 101
National Electric Code 2011
American Institute of Steel Construction Specifications
American Welding Society
American Concrete Institute
Federal Aviation Authority Regulations
Federal Communications Commission Regulations
American National Standards Institute
American Society for Testing and Materials
National Underwriter's Laboratories
2. It is the Subcontractor's responsibility to verify compliance with the governing codes and to notify the Construction Manager of any discrepancies prior to performing work. Reference to any standard or code of practice in this specification shall be deemed to mean the edition current at the time of award of the contract.

Site Work:

1. The Contractor is required to maintain all ditches, pipes, and other drainage structures free from obstruction until work is accepted. The Contractor is responsible for any damages caused by failure to maintain drainage structure in operable condition.

Structural:


1. All cast in place concrete shall be mixed and placed in accordance with the requirements of ACI 318 and ACI 301, and shall have a 28 day minimum compressive strength of 4000 PSI. Concrete shall be placed against undisturbed soil unless otherwise noted. Minimum concrete cover shall be 3 inches.
2. Each new communication tower must be designed and constructed so that in the event a tower falls it will collapse only within the property lines of the lot on which the tower is located. All applications for development approval shall provide verification of compliance with this design requirement from an engineer registered by the State of Florida. In addition, the construction of new communication towers shall comply with all county construction codes.
3. All reinforcing steel shall conform to ASTM 615 grade 60, deformed billet steel bars. Welded wire fabric reinforcing shall conform to ASTM A185.

2014 Florida Building Code 5th Edition
FBC Specifications: Risk Category II
TIA Specifications: Structure Class = 2; Exposure = C; Topographic Category 1
Wind Loads (ASCE 7-10)
139 mph ultimate design wind speed per FBC 2014
107.7 mph nominal design wind speed per FBC 2014

Site Notes:

1. All Communication Towers (Tower/s), Antennas, and Equipment shall comply with the Hernando County Comprehensive Plan and Land Development Regulations; all applicable sire safety codes, building codes, and technical codes adopted by Hernando County; all applicable federal and state regulations; and the Federal Aviation Administration (FAA).
2. The Tower and Antennas must meet the radiation emission standards set by the Federal Communications Commission (FCC).
3. Color and camouflage. The Tower shall have a galvanized finish or shall be painted with a gray or blue-gray finish, unless required by the FAA or the FCC to be painted in another color scheme.
4. Illumination. The Tower shall not be artificially lighted except to assure human safety or as required by the FAA or the FCC.
5. Buffering. The base of the Tower shall be surrounded by a chain link fence or wall of at least six (6) feet but less than eight (8) feet. All Equipment shall be screened to an 80% opacity by natural vegetation or new landscaping. Existing vegetation shall be preserved to the maximum extent practicable.
6. Signage. Except for warning signs such as "No Trespassing," signs required by a regulating authority that state ownership and emergency telephone numbers, no signage will be permitted on the Tower. No Tower Site shall have more than five (5) signs and at no time shall a single sign be greater than two square feet.
7. Collocation. The Tower shall be designed to accommodate the Antennas of at least four (4) wireless telecommunications carriers.
8. Abandonment. Any Tower which is abandoned shall be reactivated, removed or demolished by the owner of the Tower, but not at Hernando County's expense. For the purposes of this section, abandoned shall mean that no commercial operation of any Antenna on the Tower has occurred for a period of 120 days.
9. Parking and Traffic. Traffic to the Tower Site is approximately one trip per carrier per month. Areas sufficient for the temporary off-street parking for one (1) vehicle shall be provided.
10. Utilities. The Tower shall not require and water, wastewater, or solid waste disposal.

REV	DATE	DESCRIPTION
A	05/17/17	PRELIMINARY CDS REV "A"
B	05/18/17	PRELIMINARY CDs REV "B"
0	05/19/17	ISSUED CDs REV "0"
1	06/23/17	ISSUED CDs REV "1"
USA ENG PROJECT NO.: 25160001-10		
DRAWN BY:		CHECKED BY:
BMF		MM




405 SOUTH DALE MABRY
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PH: (813) 335-4768



815 SOUTH KINGS AVENUE
BRANDON, FLORIDA 33511
PH: (813) 657-7810

PREPARED BY:



2818 CYPRESS RIDGE CREEK
SUITE 110
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(813) 994-0365
FL COA #31705

MARC MAIER, PE
FL PROFESSIONAL ENGINEER LIC. # 72513

WEEKI WACHEE
GARDENS
FL-5159
SHOAL LINE BOULEVARD
WEEKI WACHEE, FLORIDA 34607
HERNANDO COUNTY

SHEET DESCRIPTION

GENERAL NOTES

SHEET NUMBER

N-1

PROPERTY DESCRIPTIONS

PARENT PARCEL
(OFFICIAL RECORD BOOK 771, PAGE 1545)

THAT PORTION OF THE EAST 1/2 OF THE SE 1/4 OF SECTION 29, TOWNSHIP 22 SOUTH, RANGE 17 EAST, HERNANDO COUNTY, FLORIDA, LYING NORTH AND WEST OF THE NORTHERLY AND WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 595 AS IT IS NOW ESTABLISHED: LESS AND EXCEPT THE FOLLOWING DESCRIBED PORTION THEREOF: COMMENCE AT THE SW CORNER OF SECTION 28, TOWNSHIP 22 SOUTH, RANGE 17 EAST, AND RUN THENCE NORTH ALONG THE WEST LINE THEREOF A DISTANCE OF 1321.37 FEET; THENCE WEST A DISTANCE OF 183.00 FEET TO THE WEST RIGHT-OF-WAY LINE OF STATE ROAD 595; THENCE SOUTH ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 479.30 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 125.00 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD 595; THENCE WEST ALONG SAID NORTH RIGHT-OF-WAY LINE A DISTANCE OF 185.00 FEET; THENCE NORTH PARALLEL TO THE WEST RIGHT-OF-WAY LINE A DISTANCE OF 125.00 FEET; THENCE EAST PARALLEL TO THE SAID NORTH RIGHT-OF-WAY LINE A DISTANCE OF 185.00 FEET TO THE POINT OF BEGINNING. THE ABOVE-DESCRIBED PARCEL CONTAINS 50 ACRES MORE OR LESS. THE ABOVE DESCRIBED PARCEL BEING SUBJECT TO THE EXISTING ROAD RUNNING EAST AND WEST THROUGH THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 29.

TOWER PARCEL
(PREPARED BY GEOLINE SURVEYING, INC.)

THAT PART OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 29, TOWNSHIP 22 SOUTH, RANGE 17 EAST, HERNANDO COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 29, TOWNSHIP 22 SOUTH, RANGE 17 EAST, HERNANDO COUNTY, FLORIDA; THENCE SOUTH 00°06'16" EAST ALONG THE WEST LINE OF SAID EAST 1/2 OF THE SOUTHEAST 1/4 FOR 544.26 FEET; THENCE NORTH 89°53'44" EAST FOR 210.76 FEET TO THE POINT OF BEGINNING; THENCE NORTH 85°56'09" EAST FOR 70.00 FEET; THENCE SOUTH 04°03'51" EAST FOR 70.00 FEET; THENCE SOUTH 85°56'09" WEST FOR 70.00 FEET; THENCE NORTH 04°03'51" WEST FOR 70.00 FEET TO SAID POINT OF BEGINNING.

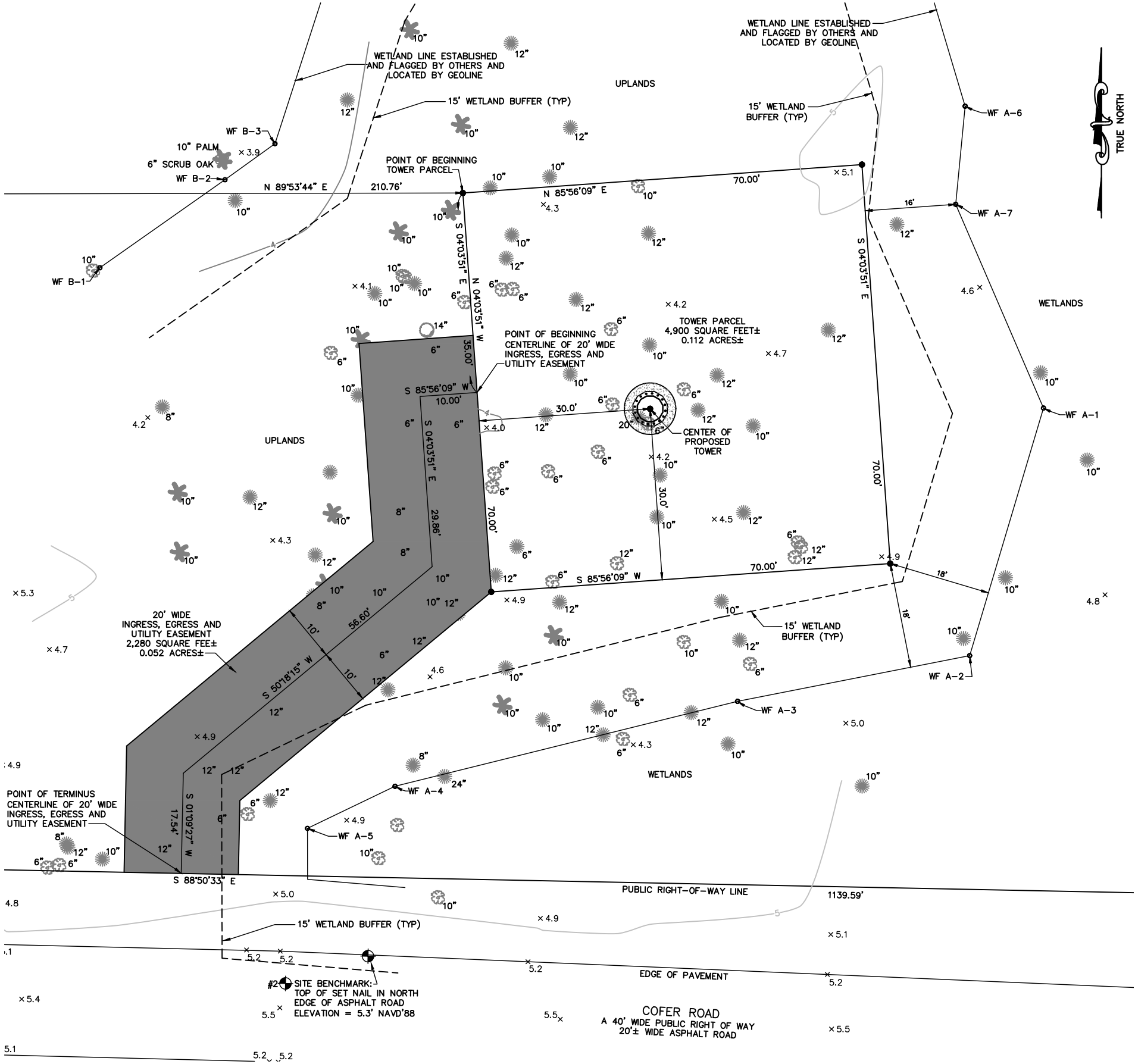
CONTAINING 4,900 SQUARE FEET (0.112 ACRES), MORE OR LESS.

20 FOOT WIDE INGRESS, EGRESS AND UTILITY EASEMENT
(PREPARED BY GEOLINE SURVEYING, INC.)

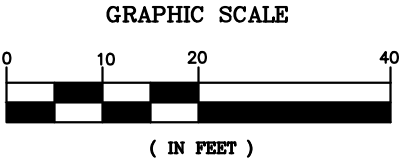
THAT PART OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 29, TOWNSHIP 22 SOUTH, RANGE 17 EAST, HERNANDO COUNTY, FLORIDA, LYING WITHIN 10 FEET OF BOTH SIDES OF A CENTERLINE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 29, TOWNSHIP 22 SOUTH, RANGE 17 EAST, HERNANDO COUNTY, FLORIDA; THENCE SOUTH 00°06'16" EAST ALONG THE WEST LINE OF SAID EAST 1/2 OF THE SOUTHEAST 1/4 FOR 544.26 FEET; THENCE NORTH 89°53'44" EAST FOR 210.76 FEET TO THE NORTHWESTERLY CORNER OF A 70-FOOT X 70-FOOT TOWER PARCEL; THENCE SOUTH 04°03'51" EAST ALONG THE WESTERLY LINE OF SAID TOWER PARCEL FOR 35.00 FEET TO THE POINT OF BEGINNING OF THE CENTERLINE OF THE HEREIN DESCRIBED 20-FOOT WIDE INGRESS, EGRESS AND UTILITY EASEMENT; THENCE SOUTH 85°56'09" WEST FOR 20.00 FEET; THENCE SOUTH 04°03'51" EAST ALONG A LINE PARALLEL WITH SAID WESTERLY LINE FOR 29.86 FEET; THENCE SOUTH 50°18'15" WEST FOR 56.60 FEET; THENCE SOUTH 01°09'27" WEST FOR 17.54 FEET TO AN INTERSECTION WITH THE NORTH RIGHT OF WAY LINE OF COFER ROAD, AND THE POINT OF TERMINUS OF THE HEREIN DESCRIBED CENTERLINE.

CONTAINING 2,280 SQUARE FEET (0.052 ACRES), MORE OR LESS.



1
C-2
ENLARGED SITE PLAN
SCALE: 1" = 20'
SCALE BASED ON 11"x17" ONLY



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B	05/18/17	PRELIMINARY CDS REV "B"
0	05/19/17	ISSUED CDS REV "0"
1	06/23/17	ISSUED CDS REV "1"
USA ENG PROJECT NO.: 25160001-10		
DRAWN BY: BMF		CHECKED BY: MM



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PREPARED BY:



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FL COA #31705

MARC MAIER, PE
FL PROFESSIONAL ENGINEER LIC. # 72513

WEEKI WACHEE
GARDENS
FL-5159
SHOAL LINE BOULEVARD
WEEKI WACHEE, FLORIDA 34607
HERNANDO COUNTY

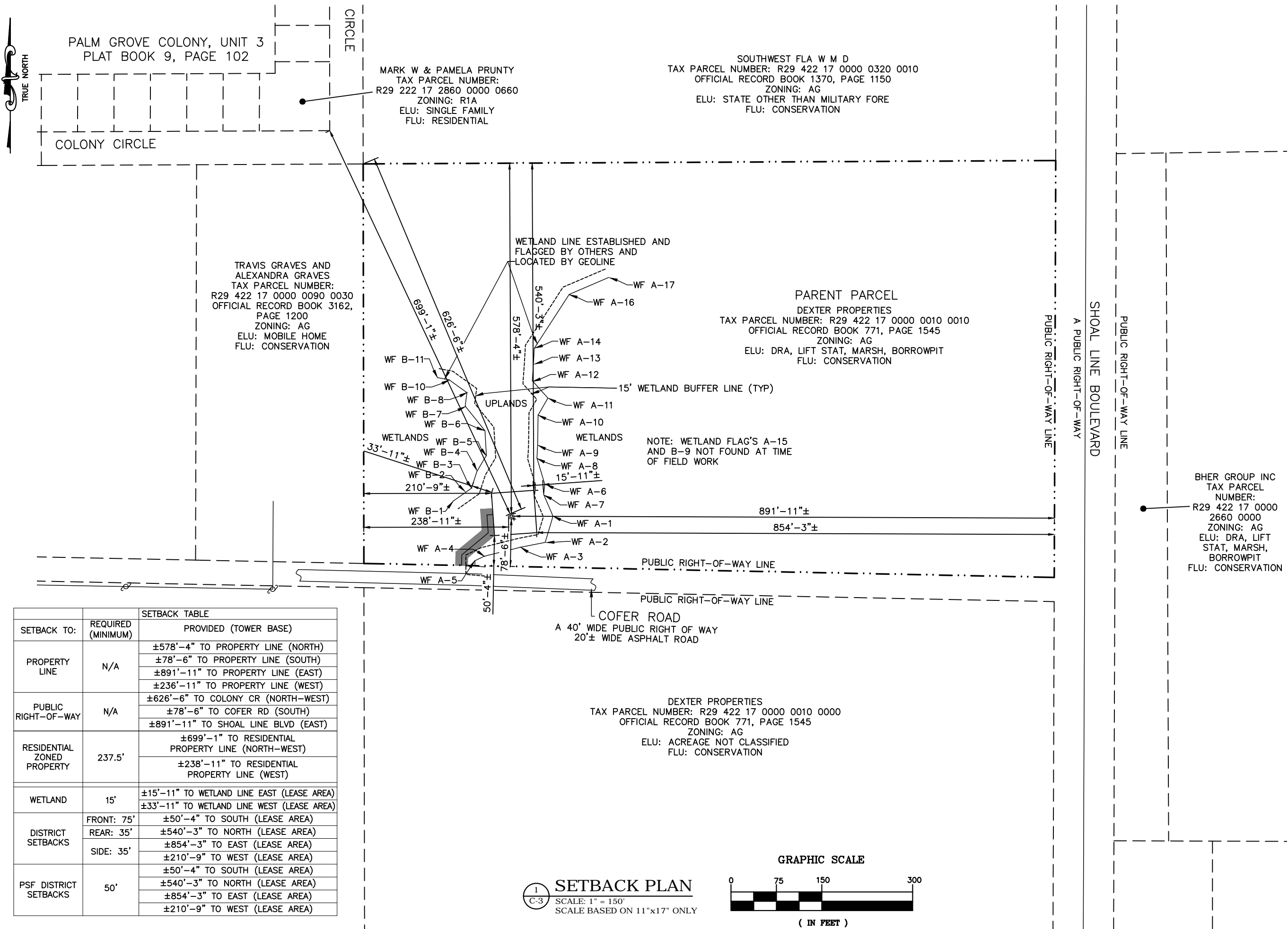
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ENLARGED EXISTING
SITE PLAN

SHEET NUMBER

C-2

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B	05/18/17	PRELIMINARY CDS REV "B"
0	05/19/17	ISSUED CDS REV "0"
1	06/23/17	ISSUED CDS REV "1"

USA ENG PROJECT NO.: 25160001-10

DRAWN BY:	CHECKED BY:
BMF	MM



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WEEKI WACHEE, FLORIDA 34607
HERNANDO COUNTY

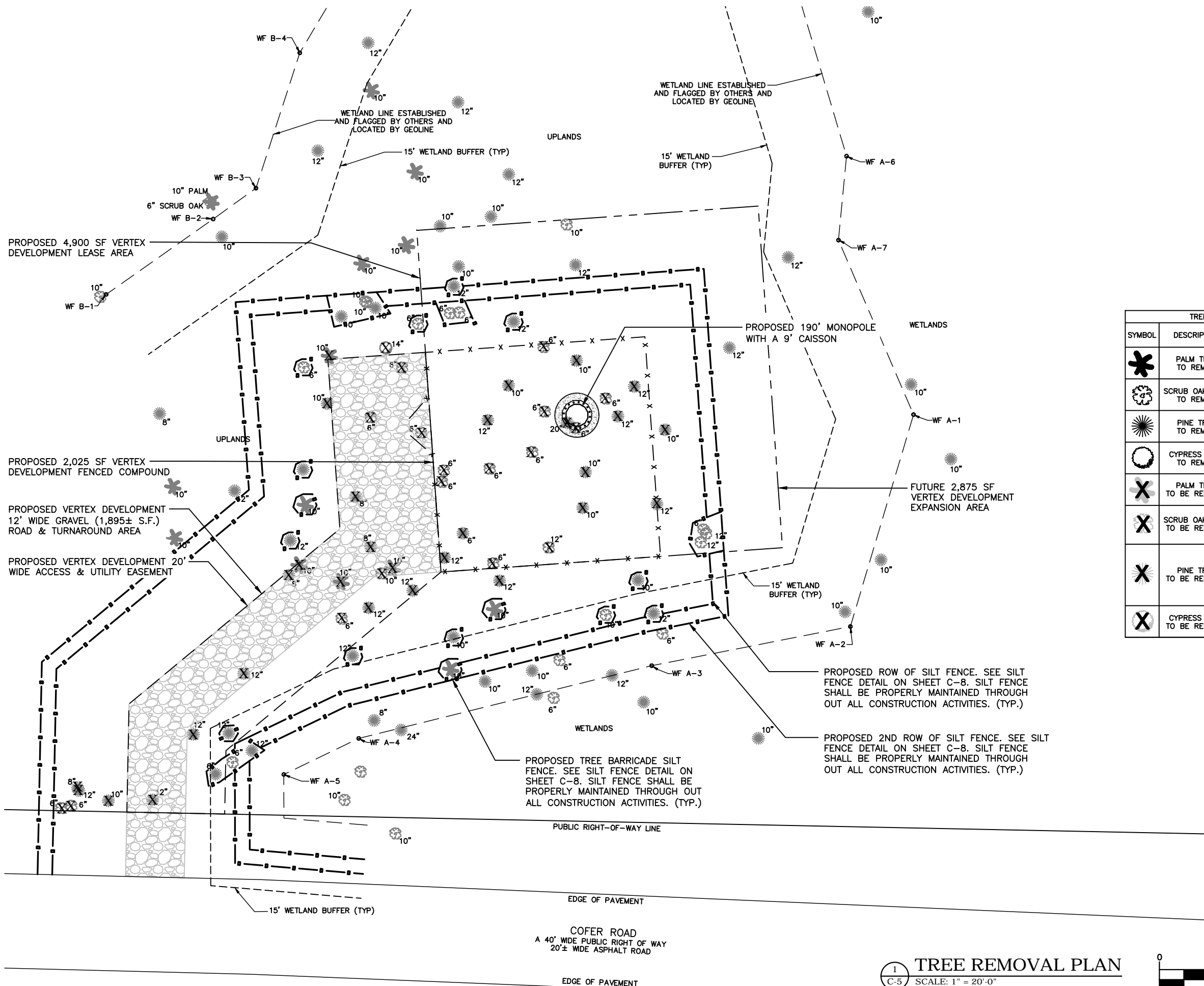
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SETBACK PLAN

SHEET NUMBER

C-3

[illegible]

[illegible]

VERTEX
DEVELOPMENT, LLC

405 SOUTH DALE MABRY
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EXPERT
CONSTRUCTION MANAGERS, INC.

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ENGINEERING**

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HERNANDO COUNTY

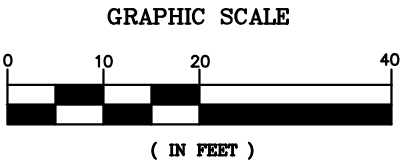
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TREE REMOVAL PLAN

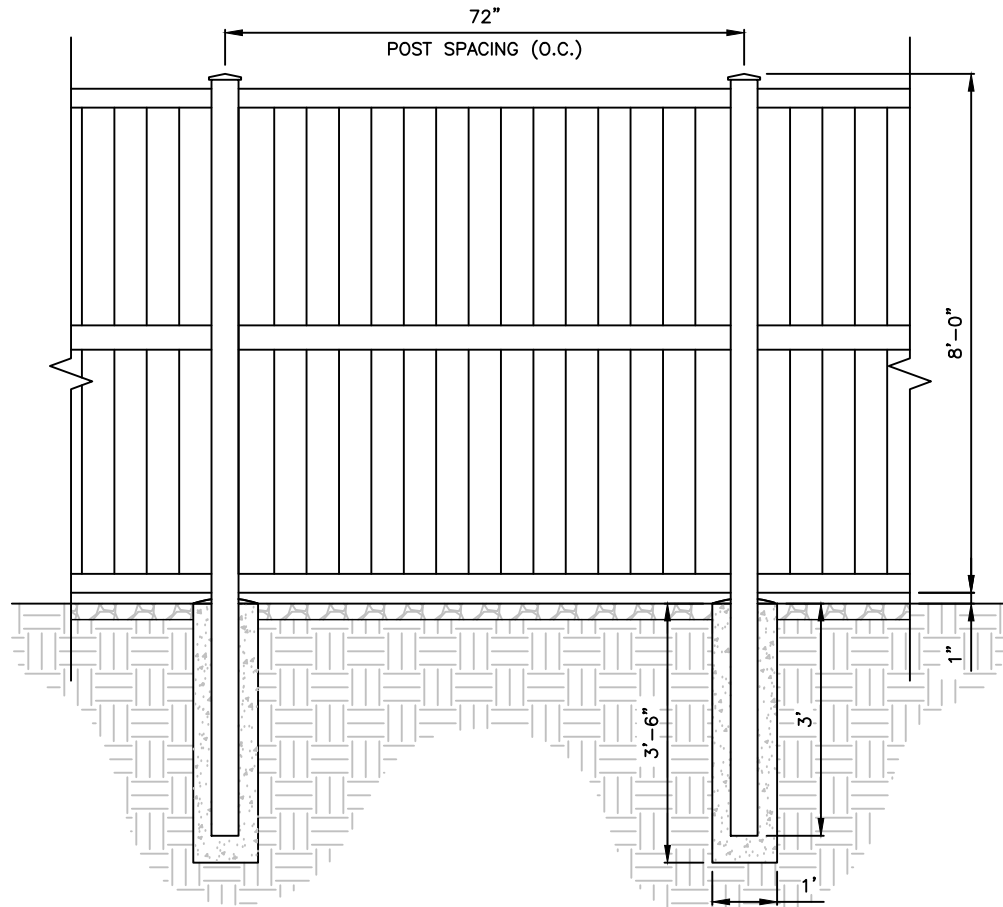
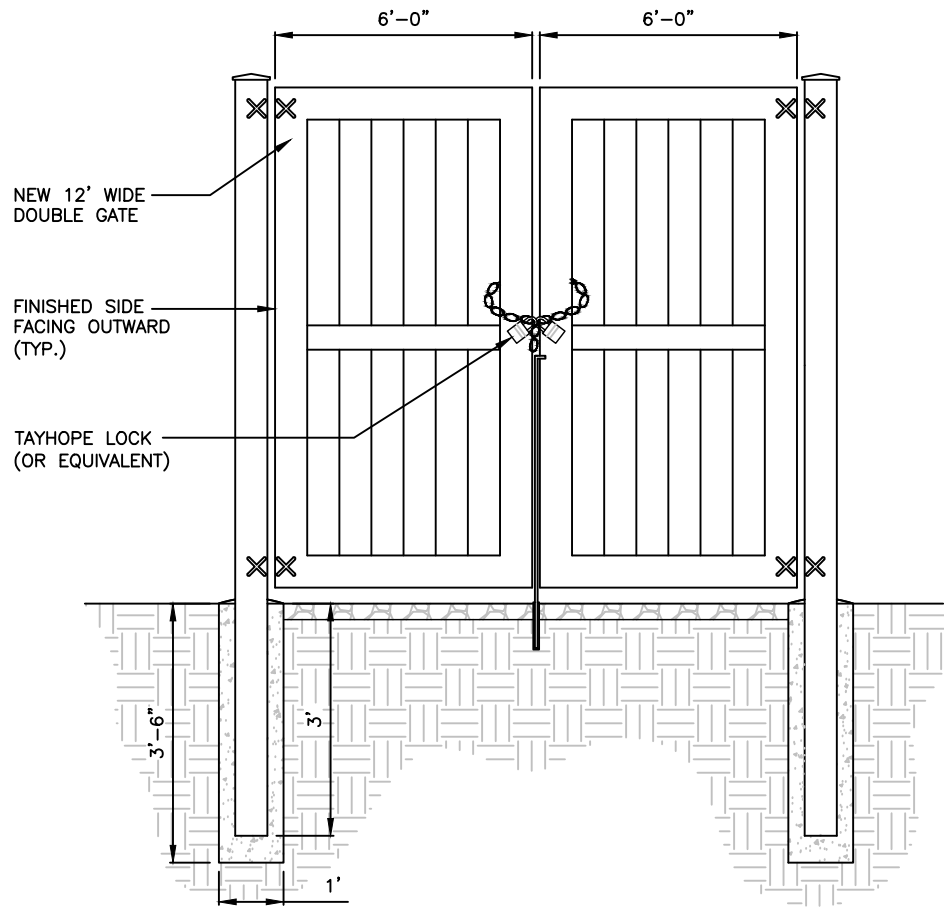
SHEET NUMBER

C-5

1 **TREE REMOVAL PLAN**
C-5 SCALE: 1" = 20'-0"
 SCALE BASED ON 11"x17" ONLY



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NOTES:

1. FENCE TO BE WHITE IN COLOR.
2. FENCE TO BE INSTALLED FINISHED SIDE OUT.
3. FENCE TO USE VINYL VERTICAL BOARDS.
4. BOARDS ARE HOLLOW, 100% EXTRUDED VINYL.
5. FENCE TO MAINTAIN A "NO-GAP" APPEARANCE, THROUGHOUT.
6. CONTRACTOR TO COORDINATE FENCE INSTALLATION WITH ANY LOCAL ORDINANCES.
7. ALL METAL HARDWARE TO BE HOT DIP GALVANIZED.
8. GATE WILL BE LOCKED USING A STYMIE LOCK OR EQUIVALENT.
9. FENCE DETAILS TO BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.

1 COMPOUND FENCE & GATE DETAIL
C-6 SCALE: N.T.S.

VERTEX
DEVELOPMENT, LLC

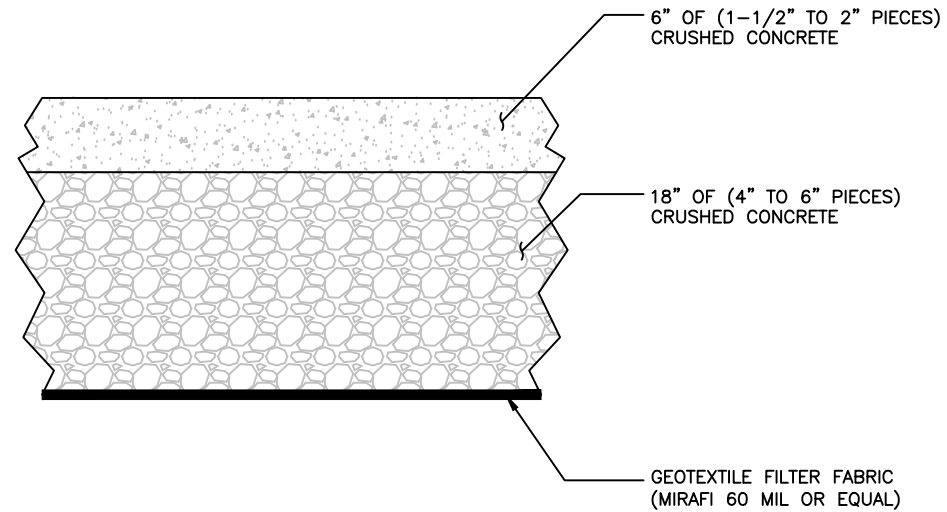
WEEKI WACHEE GARDENS
FL-5159
SHOAL LINE BOULEVARD
WEEKI WACHEE, FLORIDA 34607

FCC ASR #: TBD
LAT: 28° 35' 07.73" N - LONG: 82° 19' 46.02"

EMERGENCY CONTACT: 813-335-4768

NO
TRESPASSING
AREA

2 COMPOUND SIGNAGE DETAIL
C-6 SCALE: N.T.S.



3 TYPICAL GRAVEL DRIVEWAY SECTION DETAIL
C-6 SCALE: N.T.S.

REV	DATE	DESCRIPTION
A	05/17/17	PRELIMINARY CDS REV "A"
B	05/18/17	PRELIMINARY CDS REV "B"
0	05/19/17	ISSUED CDS REV "0"
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USA ENG PROJECT NO.: 25160001-10		
DRAWN BY:		CHECKED BY:
BMF		MM

VERTEX
DEVELOPMENT, LLC

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**WEEKI WACHEE
GARDENS
FL-5159**
SHOAL LINE BOULEVARD
WEEKI WACHEE, FLORIDA 34607
HERNANDO COUNTY

SHEET DESCRIPTION

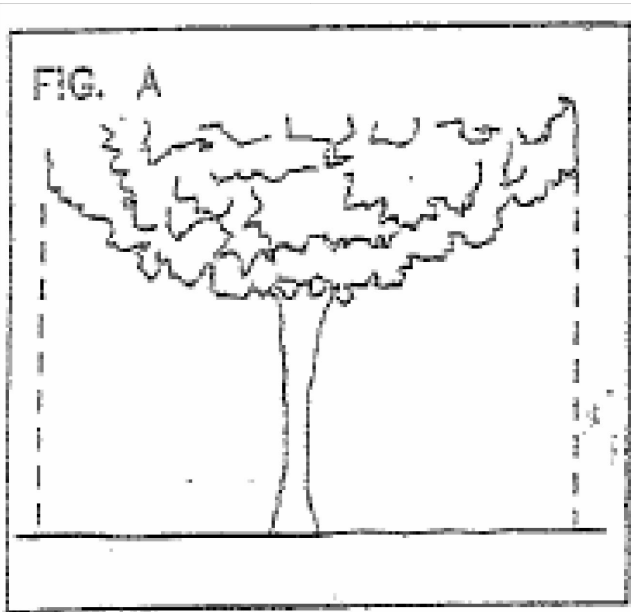
SITE DETAILS

SHEET NUMBER

C-6

USA Engineering - T:\00-2016 PROJECTS\25-Vertex Development\WEEKI WACHEE GARDENS - FL-5159\DESIGN\WEEKI WACHEE GARDENS_CD2.dwg June 23, 2017 2:29:35 PM brandonf

PROTECTIVE BARRIER REQUIREMENTS AND SPECIFICATIONS FOR EXISTING TREES TO REMAIN



PROTECTIVE BARRIERS ARE USED DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES TO PROTECT TREES AND NATURAL AREAS TO BE RETAINED ON A SITE.

PROTECTIVE BARRIERS MUST BE ERECTED AROUND TREES TO BE RETAINED WITHIN AN AREA WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES WILL OCCUR AS WELL AS ALONG NATURAL AREAS WHERE SUCH AREAS ARE ADJACENT TO PERMITTED LAND ALTERATION OR CONSTRUCTION ACTIVITIES. A PROTECTIVE BARRIER MUST REMAIN IN PLACE UNTIL THE LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETED OR UNTIL COMMENCEMENT OF GRADE FINISHING AND SODDING. NO GROUND DISTURBANCE MUST OCCUR WITHIN THE BARRICADED AREA. THE FOLLOWING REPRESENTS THE COUNTY'S MINIMUM PROTECTIVE BARRIER SPECIFICATIONS.

1. TREES - TO RESTRICT ACCESS INTO THE AREA WITHIN THE CANOPY DRIPLINE OF A TREE, A PHYSICAL STRUCTURE NOT LESS THAN 3 FEET IN HEIGHT, COMPRISED OF WOOD OR OTHER SUITABLE MATERIAL, IS PLACED AROUND THE TREE AT THE CANOPY DRIPLINE, EXCEPT WHERE LAND ALTERATION OR CONSTRUCTION ACTIVITIES ARE APPROVED WITHIN THE CANOPY DRIPLINE.

THE CANOPY DRIPLINE OF A TREE IS THE IMAGINARY, VERTICAL LINE THAT EXTENDS DOWNWARD FROM THE OUTERMOST TIPS OF THE TREE'S BRANCHES TO THE GROUND. FIG. A

BARRIER SPECIFICATIONS FOR TREES:

FOUR CORNER UPRIGHT STAKES OF NO LESS THAN 2"X 2" LUMBER CONNECTED BY HORIZONTAL MEMBERS OF NO LESS THAN 1"X 4" LUMBER; OR UPRIGHT TAKES SPACED AT 5' INTERVALS OF NO LESS THAN 2"X 2" LUMBER CONNECTED BY SILT SCREEN FABRIC OR MATERIAL OF COMPARABLE DURABILITY. FIG. B

2. NATURAL AREAS - TO RESTRICT ACCESS INTO AREAS WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE NOT AUTHORIZED A PHYSICAL STRUCTURE NOT LESS THAN 3 FEET IN HEIGHT IS PLACED ALONG THE PERIMETER OF SUCH AREAS.

BARRIER SPECIFICATIONS FOR NATURAL AREAS:

UPRIGHT STAKES OF NO LESS THAN 2"X 2" LUMBER SPACED NO MORE THAN 25' APART AND CONNECTED BY TWINE FLAGGED WITH PLASTIC SURVEYING TAPE AT REGULAR INTERVALS OF 5-10'. FIG. C. OTHER METHODS OF DEMARCATION WILL BE CONSIDERED DEPENDING UPON THE CHARACTERISTICS OF THE SITE.

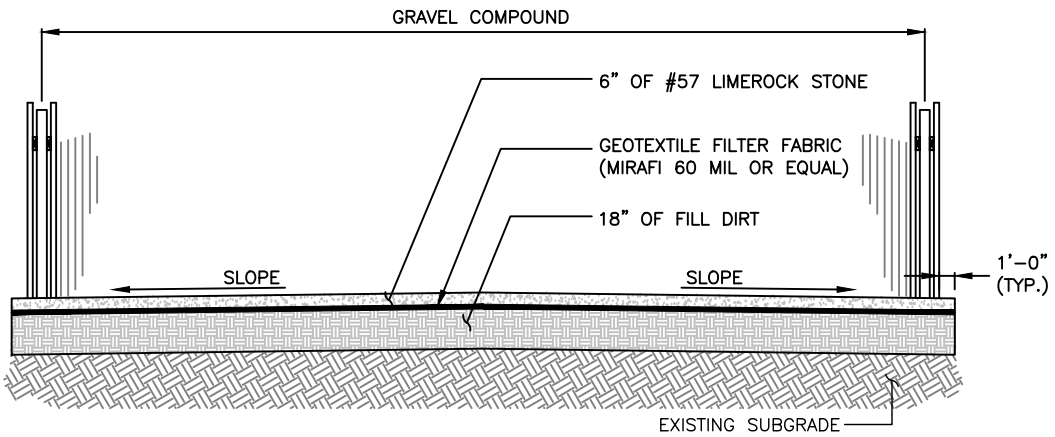
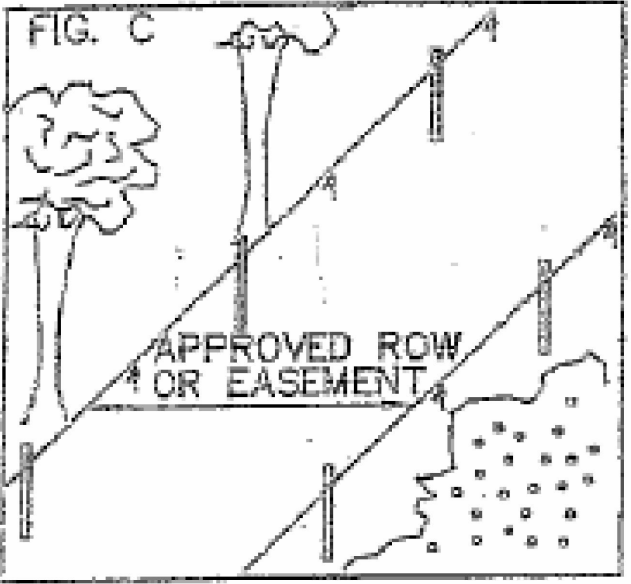
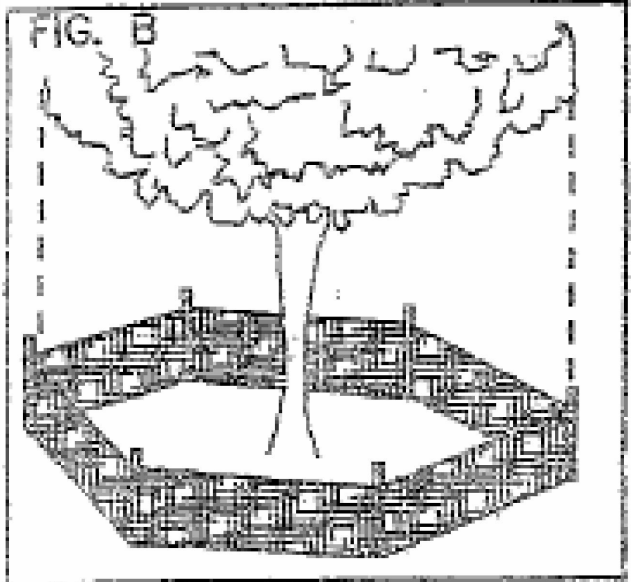
WHY A BARRIER

1. TO PROTECT ALL ABOVE GROUND PORTIONS OF TREES AND OTHER SIGNIFICANT VEGETATION FROM MECHANICAL DAMAGE.
2. TO PROTECT ROOT SYSTEMS FROM COMPACTION.
3. TO PROVIDE AWARENESS OF PROTECTED AREAS TO EQUIPMENT OPERATORS.

TREE PROTECTION STANDARDS:

PURSUANT TO SEC. 13-44, AS A CONDITION OF GRANTING AN APPROVAL OF SITE PREPARATION, THE APPLICANT AGREES THAT SITE PREPARATION ACTIVITIES ON THE PARCEL SHALL COMPLY WITH THE FOLLOWING TREE PROTECTION REQUIREMENTS.

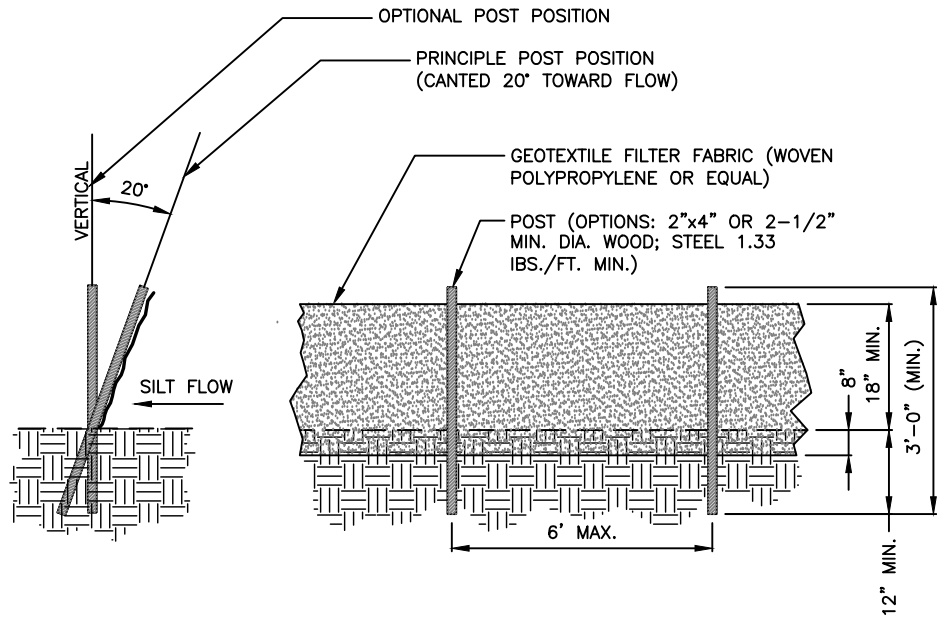
1. PROTECTIVE BARRICADES SHALL BE PLACED AROUND ALL PROTECTED TREES AND GRAND TREES DURING SITE PREPARATION, AND SHALL REMAIN IN PLACE UNTIL LAND ALTERATION, SITE CLEARING AND CONSTRUCTION ACTIVITIES ARE COMPLETE. BARRICADES SHALL BE ERECTED AT A MINIMUM DISTANCE OF TEN FEET (10) FROM THE PROTECTED TREES AND GRAND TREES (20) FROM GRAND TREES.
2. A MINIMUM DISTANCE OF TEN FEET (10) SHALL BE MAINTAINED FROM ALL PROTECTED TREES WHEN INSTALLING UNDERGROUND UTILITIES. IF THIS RESULTS IN UNREASONABLE HARDSHIP, A SOIL AUGER SHALL BE USED TO TUNNEL UNDER THE ROOT SYSTEM.
3. ALL ROOTS TO BE REMOVED DURING THE SITE PREPARATION PHASE SHALL BE SEVERED CLEAN AT THE PERIMETER OF THE DESIGNATED PROTECTED RADIUS. ALL TRIMMING AND ROOT PRUNING OF PROTECTED TREES AND GRAND TREES SHALL BE DONE BY A LICENSED TREE SERVICE, DURING DEVELOPMENT.
4. WHEN CONDITIONS DICTATE, A PROTECTIVE RETAINING WALL SHALL BE CONSTRUCTED AT THE PERIMETER OF THE PROTECTIVE RADIUS AROUND A PROTECTED TREE OR GRAND TREE WHERE THE PROTECTED TREE OR GRAND TREE WILL BE ADVERSELY AFFECTED BY LOWERING OR RAISING OF THE EXISTING GRADE.



NOTES:

1. SITE WILL BE GRADED TO ALLOW DRAINAGE PER GRADING & DRAINAGE PLAN SHEET.
2. PRIOR TO LAYING THE STONE, THE COMPOUND SHOULD BE CLEARED OF ALL ORGANIC MATTER, STERILIZED WITH WEED KILLER, AND THEN TREATED WITH HERBICIDE.
3. AFTER PROJECT COMPLETION ALL DISTURBED AREAS MUST BE SEEDED WITH LOW MAINTENANCE GRASS.

1 TYPICAL COMPOUND SECTION DETAIL
SCALE: N.T.S.



NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION. INSTALL SILT FENCE AS SHOWN WHERE ADDITIONALLY REQUIRED FOR PROTECTION OF ADJACENT PROPERTIES, ROADWAYS, AND WATERWAYS.
2. CONTRACTOR SHALL INSPECT INSTALLED EROSION CONTROL DEVICE WEEKLY DURING CONSTRUCTION AND AFTER HEAVY RAINS FOR DAMAGE. MAINTENANCE SHALL INCLUDE CLEANING BUILT-UP SEDIMENT BEHIND THE BARRIERS AND/OR REPLACING DAMAGED SECTIONS.
3. THE EROSION CONTROL DEVICES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
4. HAY BALES BE SHALL NOT BE USED AS EROSION CONTROL.
5. CONTRACTOR IS RESPONSIBLE FOR PROVIDING SITE FREE OF DRAINAGE PROBLEMS.
6. CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES FOR CONSTRUCTION TO PREVENT THE DIVERSION OF SEDIMENT LADEN STORM WATER RUNOFF OR ERODED MATERIALS FROM LEAVING THE CONSTRUCTION SITE.

2 SILT FENCE DETAIL
SCALE: N.T.S.

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A	05/17/17	PRELIMINARY CDS REV "A"
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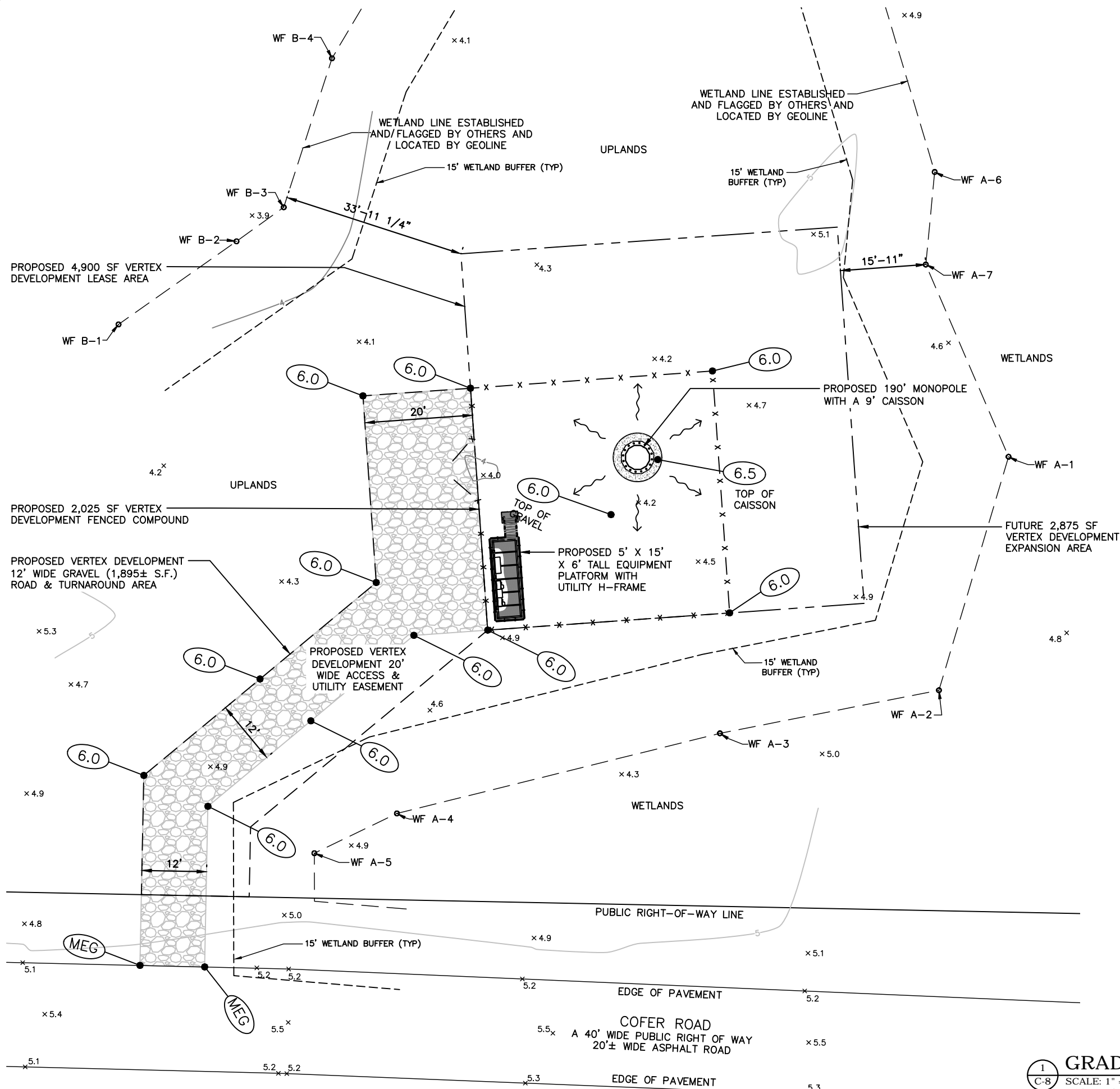
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FL-5159
SHOAL LINE BOULEVARD
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HERNANDO COUNTY

SHEET DESCRIPTION

SITE DETAILS






SHEET NUMBER

C-7



NOTE: MAINTAIN EXISTING
DRAINAGE PATTERNS

LEGEND

-
-  EXISTING SPOT ELEVATION
 SILT FENCE LOCATION
 PROPOSED SPOT ELEVATION
 MATCH EXISTING GRADE
 STORMWATER DIRECTIONAL FLOW

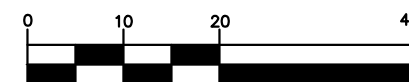
EQUIPMENT FINISHED FLOOR ELEVATION NOTE:

ALL EQUIPMENT FINISHED FLOOR ELEVATIONS SHALL BE A OF A MINIMUM OF (1') ABOVE THE BASE FLOOD ELEVATION OF (11' NAVD 88), OR APPROXIMATELY (6') ABOVE FINISHED GRADE ELEVATION. THE PROPOSED COMPOUND WILL HAVE APPROXIMATELY (18") OF COMPACTED DIRT FILL & (6") OF #57 LIMROCK STONE TO PROVIDE A FINISHED GRADE ELEVATION OF APPROXIMATELY (6' NAVD 88). WHEN NECESSARY PLATFORMS OR SIMILAR APPARATUSES SHALL BE USED TO ACHIEVE THE APPROPRIATE FINISHED FLOOR ELEVATION OF (12' NAVD 88) OR (6' AFG); TO PROVIDE THE NECESSARY (1') ABOVE THE BASE FLOOD ELEVATION.



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GRAPHIC SCALE



(IN FEET)

GRADING PLAN

SCALE: 1" = 20'-0"
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[illegible]

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FL-5159

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HERNANDO COUNTY

SHEET DESCRIPTION

GRADING AND DRAINAGE PLAN

SHEET NUMBER

C-8

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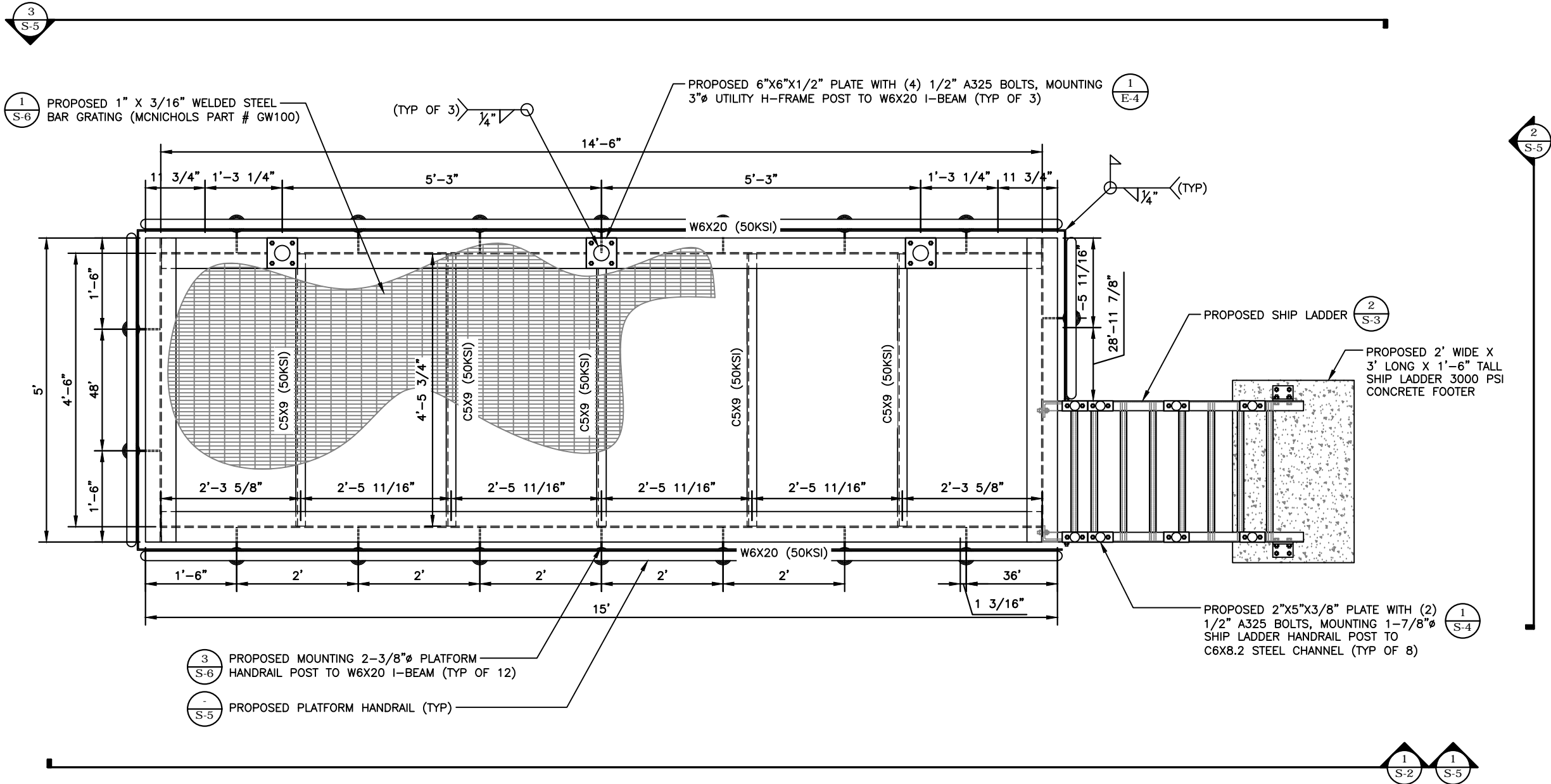
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FL-5159
SHOAL LINE BOULEVARD
WEEKI WACHEE, FLORIDA 34607
HERNANDO COUNTY

SHEET DESCRIPTION

PLATFORM FRAMING
PLAN

SHEET NUMBER

S-1



NOTE:

ALL STEEL MATERIALS TO BE
HOT DIPPED GALVANIZED.

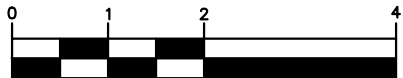
GRATING NOTE:

GRATING SHALL BE ADJUSTED AND
CUT AS NEEDED TO ALLOW FOR
UTILITY CONDUITS TO COME UP
THROUGH BOTTOM OF PLATFORM
TO UTILITY H-FRAME EQUIPMENT.

EQUIPMENT FINISHED FLOOR ELEVATION NOTE:

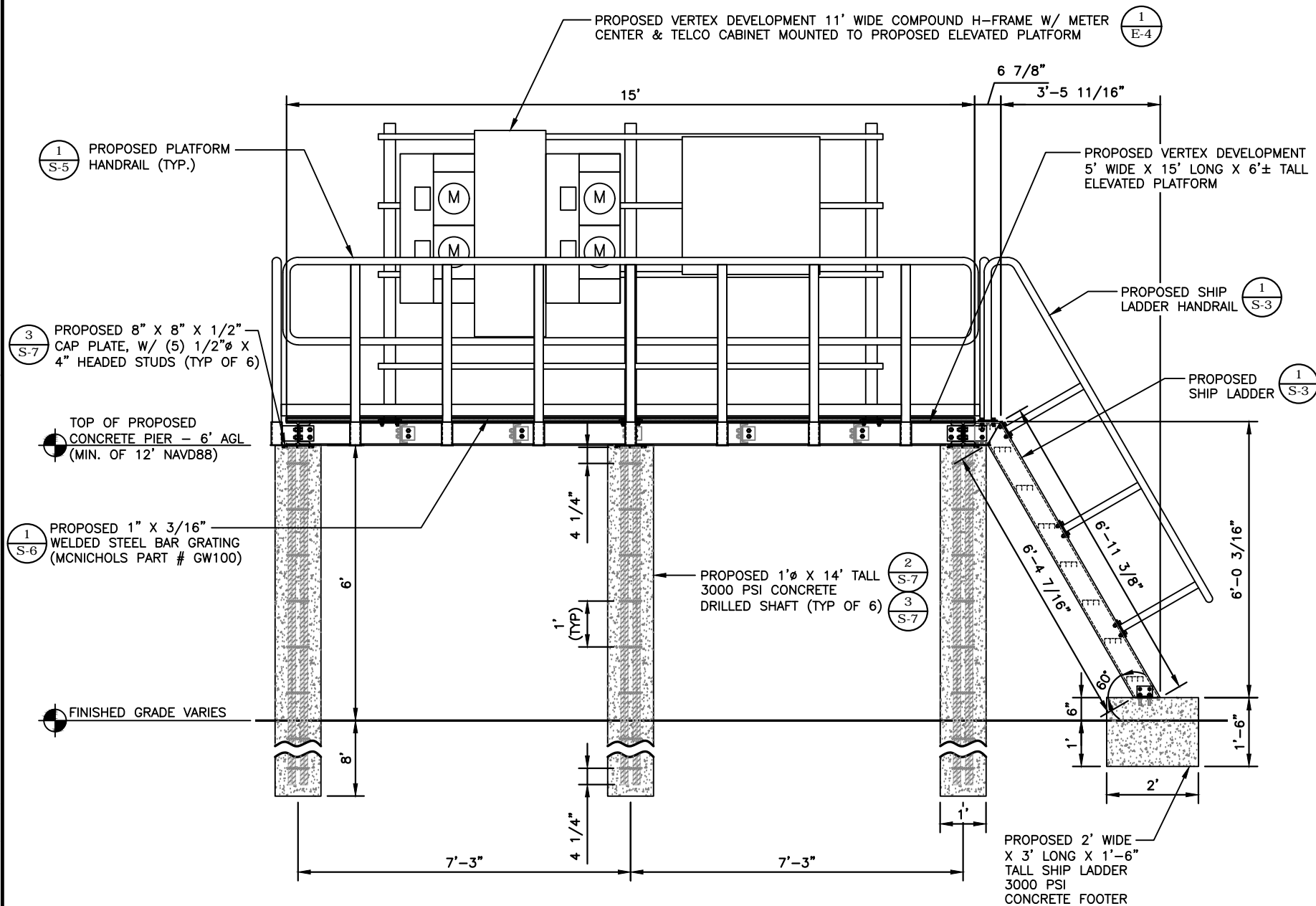
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(6' AFG); TO PROVIDE THE NECESSARY (1') ABOVE THE BASE FLOOD ELEVATION.

GRAPHIC SCALE



(IN FEET)

1
S-1 PLATFORM FRAMING PLAN
SCALE: 1" = 2'-0"
SCALE BASED ON 11"x17" ONLY



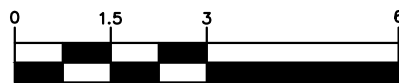
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GRATING NOTE:

GRATING SHALL BE ADJUSTED AND CUT AS NEEDED TO ALLOW FOR UTILITY CONDUITS TO COME UP THROUGH BOTTOM OF PLATFORM TO UTILITY H-FRAME EQUIPMENT.

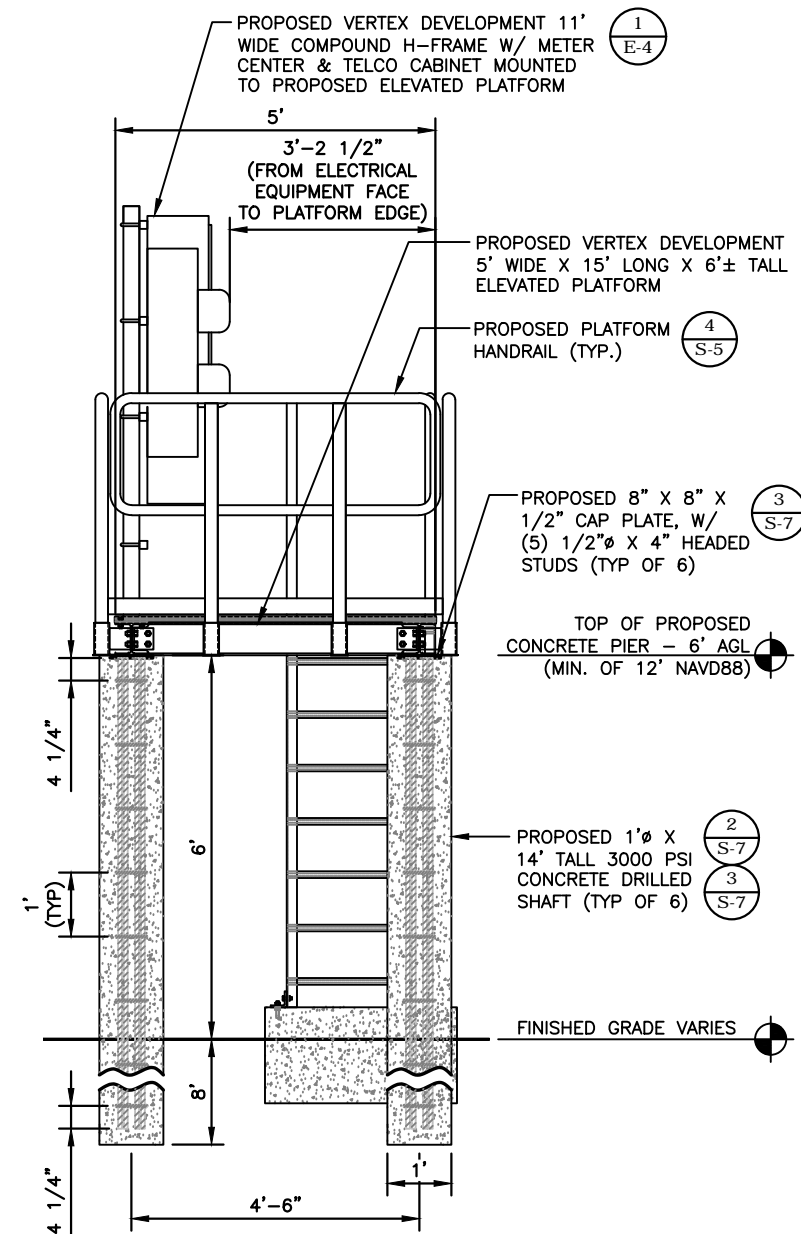
GRAPHIC SCALE



(IN FEET)

1 PLATFORM ELEVATION (FRONT)

S-1 SCALE: 1" = 3'-0"
SCALE BASED ON 11"x17" ONLY



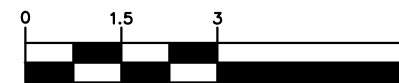
NOTE:

ALL STEEL MATERIALS TO BE
HOT DIPPED GALVANIZED.

PLATFORM ELEVATION (SIDE)

SCALE: 1" = 3'-0"
SCALE BASED ON 11"x17" ONLY

GRAPHIC SCALE



(IN FEET)

[illegible]

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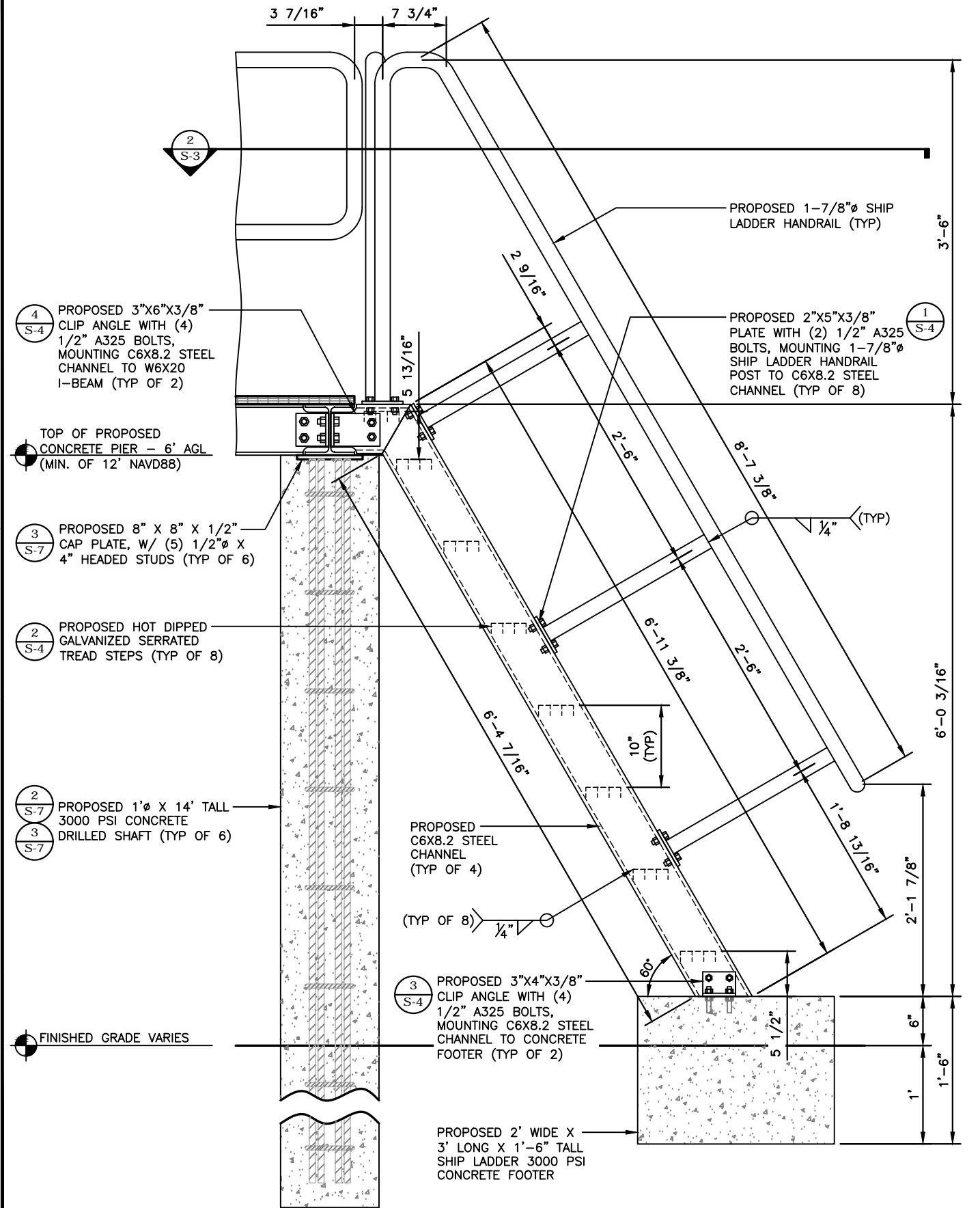
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PLATFORM ELEVATION DETAILS

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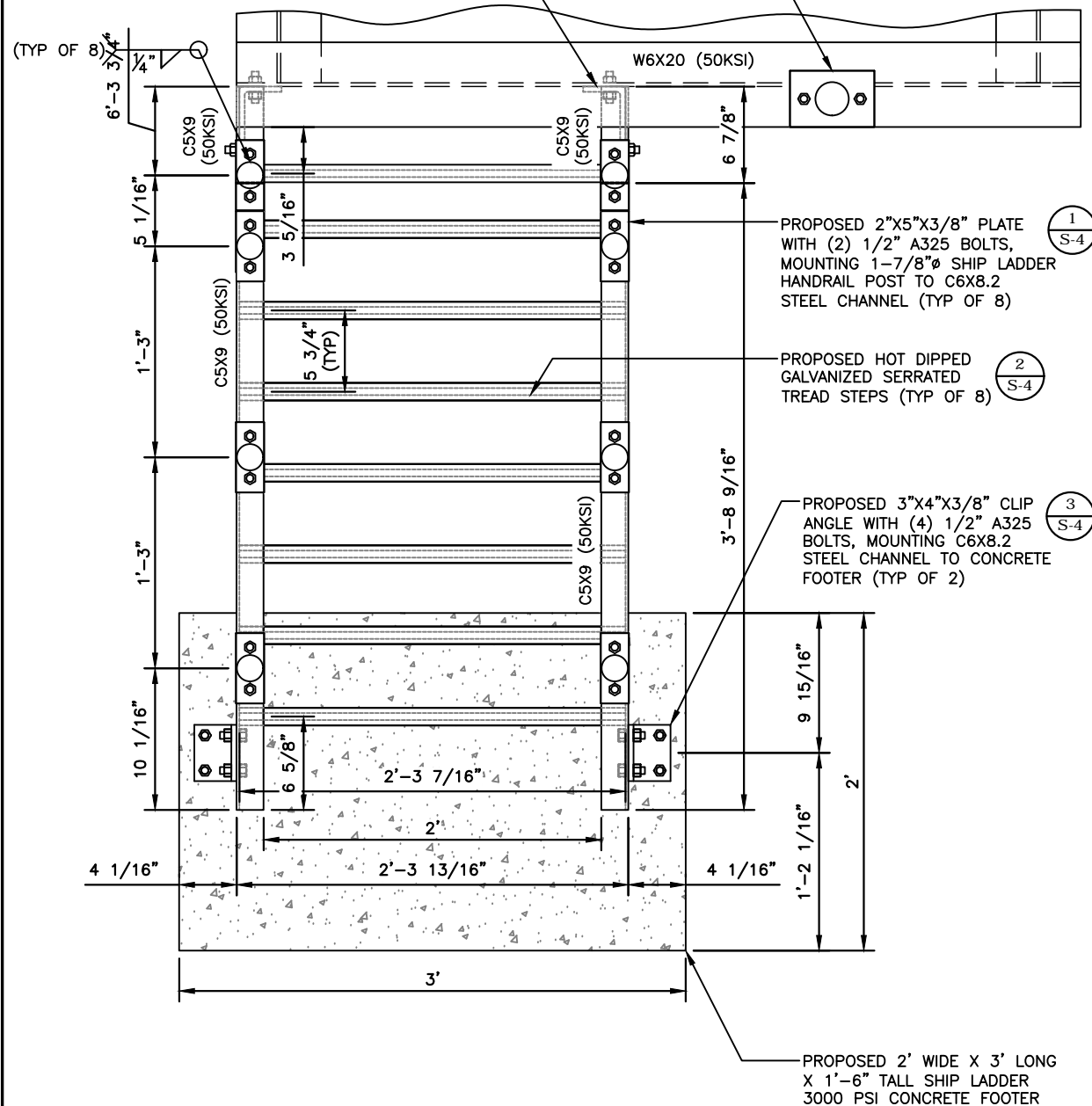
S-2

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1 SHIP LADDER ELEVATION
SCALE: 3/4" = 1'-0"
SCALE BASED ON 11"x17" ONLY

- 3 PROPOSED 4"x6"x1/2" PLATE WITH (2) 1/2" A325 BOLTS, MOUNTING 2-3/8" Ø PLATFORM HANDRAIL POST TO W6X20 I-BEAM (TYP OF 12)
- 4 PROPOSED 3"x6"x3/8" CLIP ANGLE WITH (4) 1/2" A325 BOLTS, MOUNTING C6X8.2 STEEL CHANNEL TO W6X20 I-BEAM (TYP OF 2)



2 SHIP LADDER PLAN VIEW
SCALE: 1" = 1'-0"
SCALE BASED ON 11"x17" ONLY

NOTE:
ALL STEEL MATERIALS TO BE HOT DIPPED GALVANIZED.

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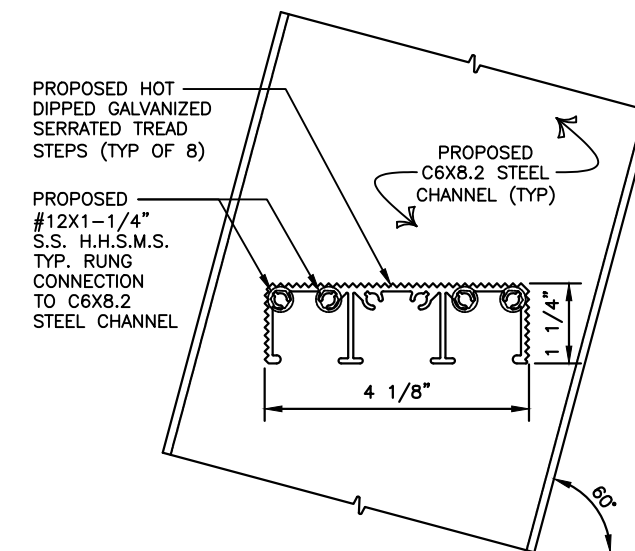
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SHEET DESCRIPTION

SHIP LADDER DETAILS

SHEET NUMBER


S-3



2 SHIP LADDER STEP / TREAD DETAIL
S-4 SCALE: NOT TO SCALE
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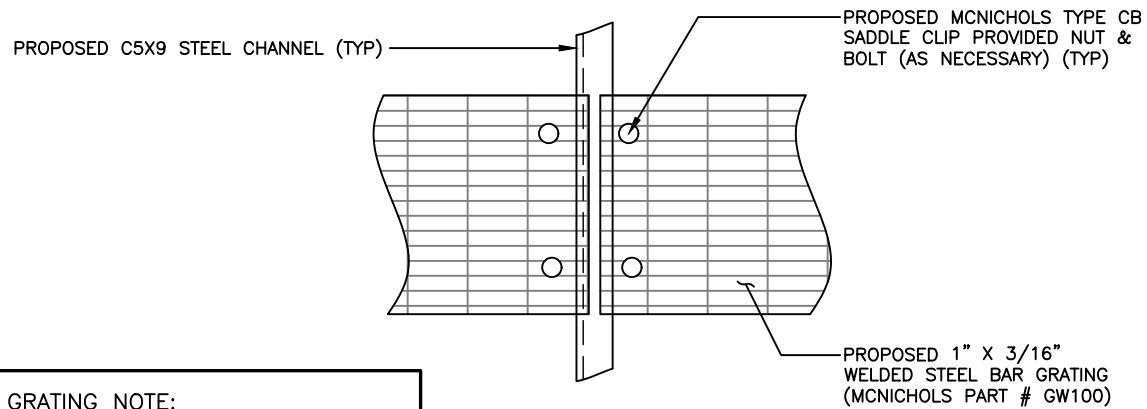
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SHIP LADDER
CONNECTION
DETAILS

SHEET NUMBER

S-4

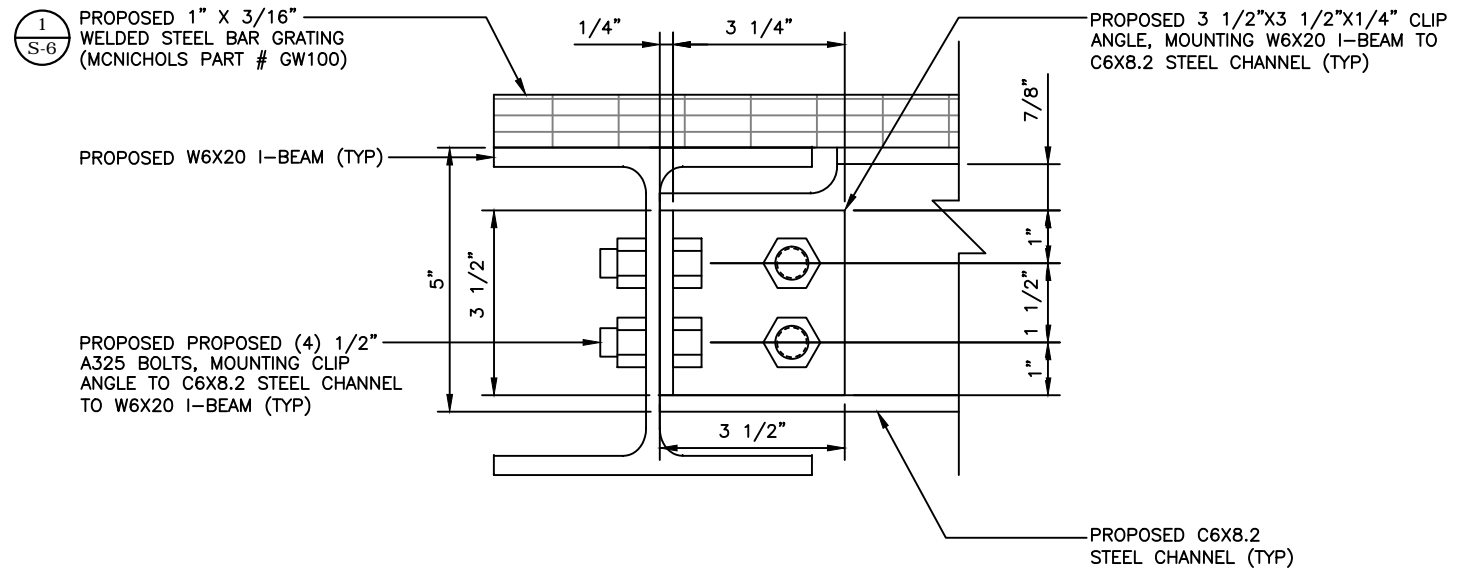
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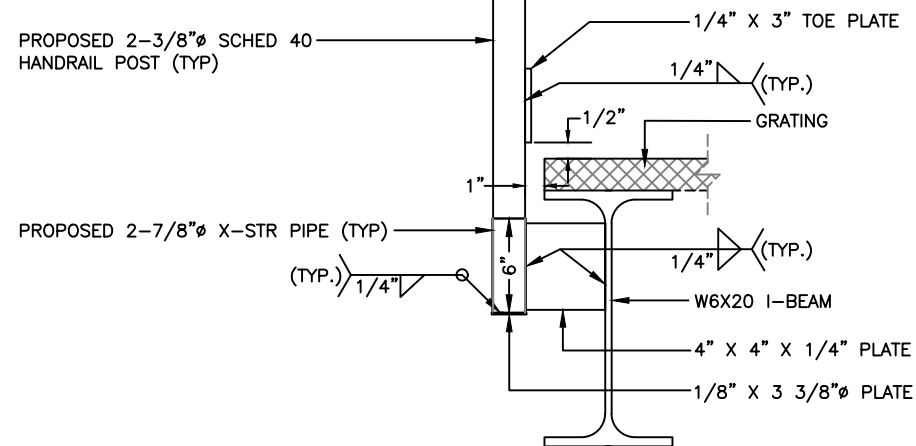
GRATING NOTE:

GRATING SHALL BE ADJUSTED AND CUT AS NEEDED TO ALLOW FOR UTILITY CONDUITS TO COME UP THROUGH BOTTOM OF PLATFORM TO UTILITY H-FRAME EQUIPMENT.

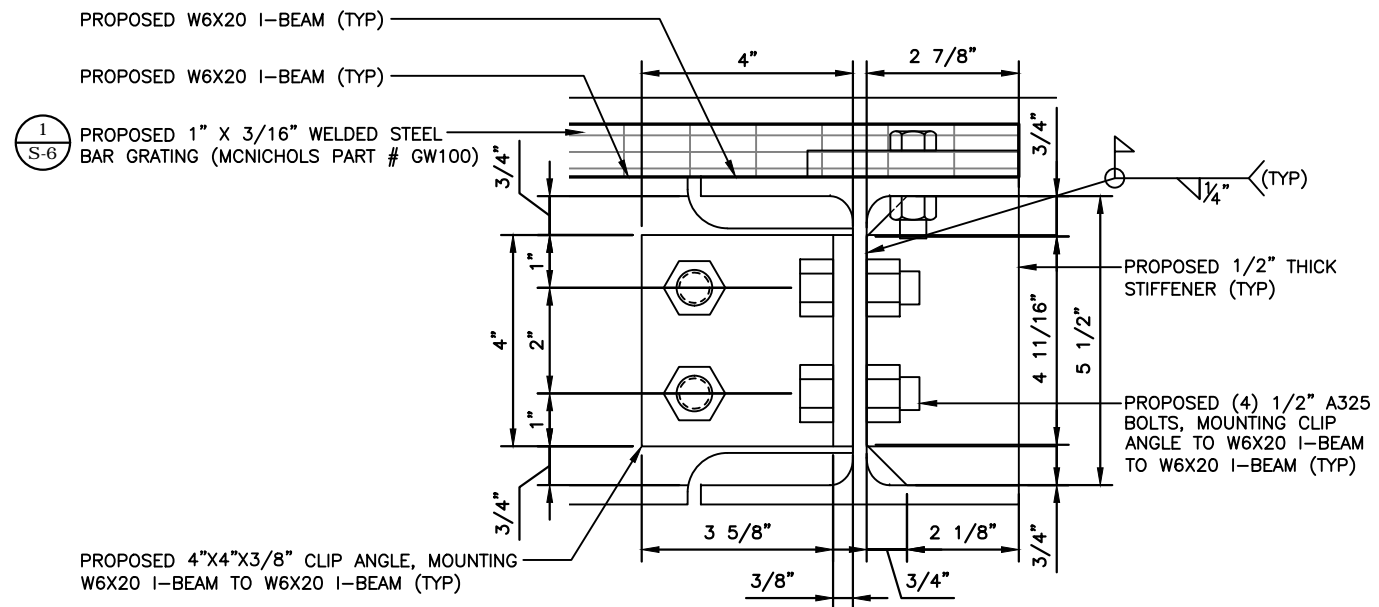
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S-6 **GRATING DETAIL**
SCALE: NOT TO SCALE
SCALE BASED ON 11"x17" ONLY



7
S-4 **W6 TO C5 CONNECTION DETAIL**
SCALE: NOT TO SCALE
SCALE BASED ON 11"x17" ONLY



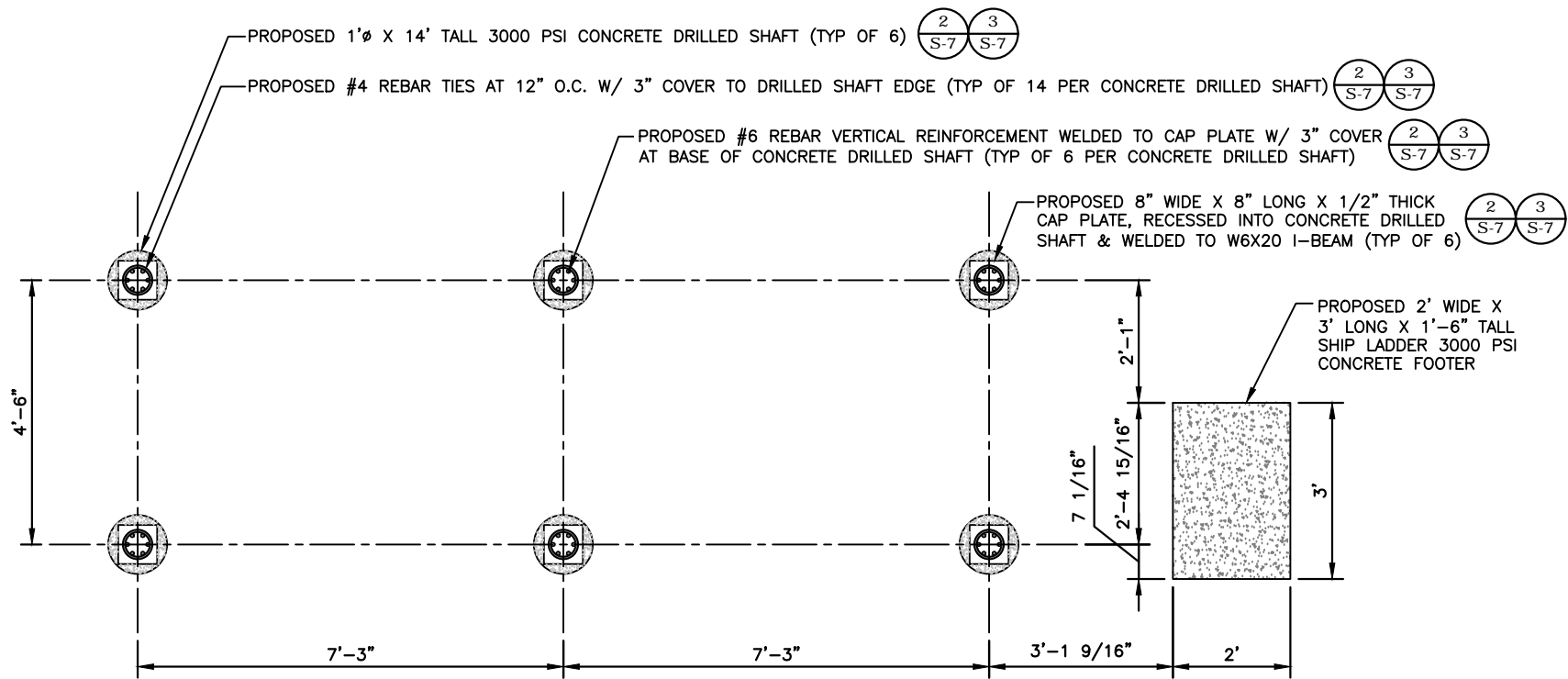
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SCALE BASED ON 11"x17" ONLY



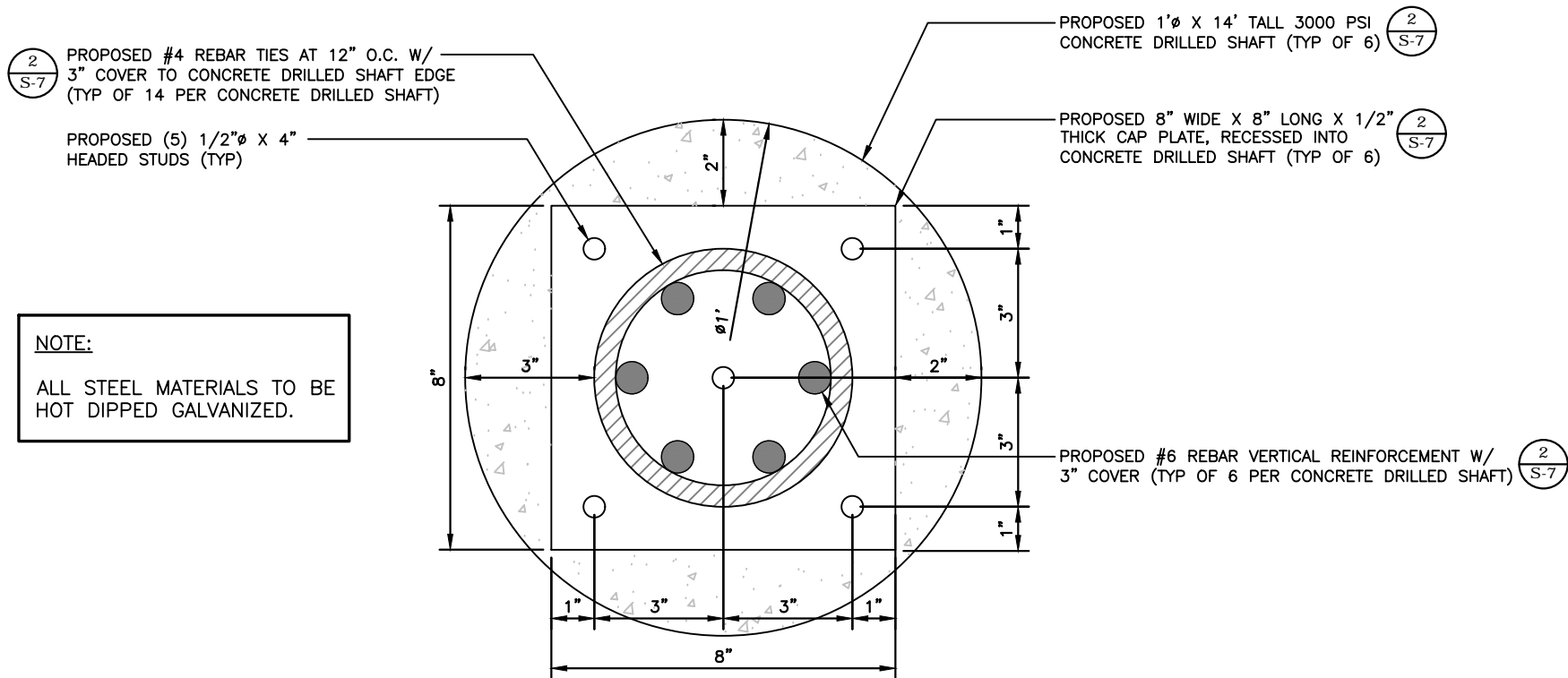
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S-6 **W6 TO W6 CONNECTION DETAIL**
SCALE: NOT TO SCALE
SCALE BASED ON 11"x17" ONLY

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<div><div>WEEKI WACHEE GARDENS FL-5159 SHOAL LINE BOULEVARD WEEKI WACHEE, FLORIDA 34607 HERNANDO COUNTY</div><div>SHEET DESCRIPTION PLATFORM CONNECTION DETAILS</div><div>SHEET NUMBER S-6</div></div>		

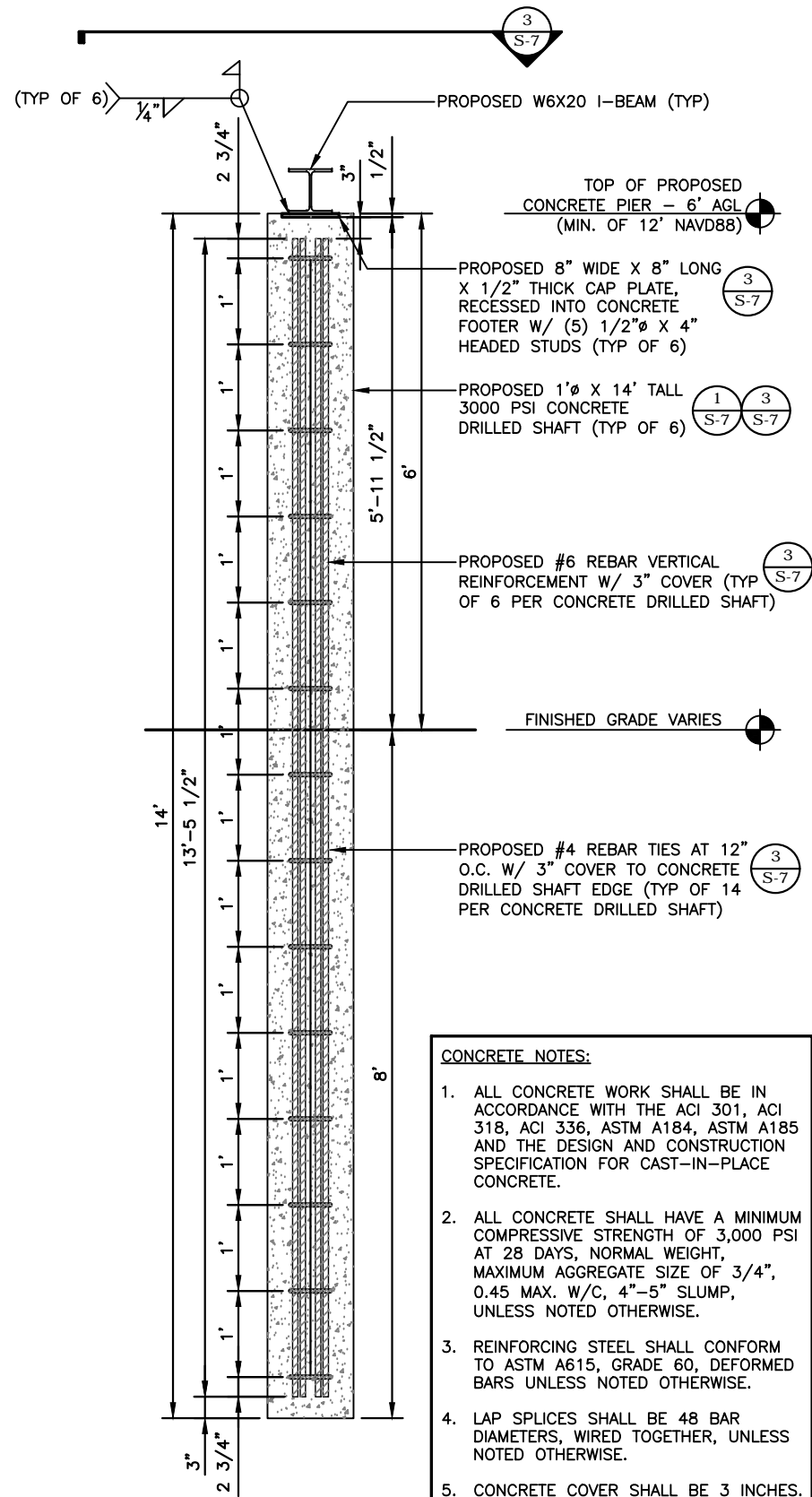
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1 CONCRETE DRILLED SHAFT LOCATION PLAN
SCALE: 1" = 3'-0"
SCALE BASED ON 11"x17" ONLY



3 CONCRETE DRILLED SHAFT (TOP VIEW)
SCALE: 1" = 4"
SCALE BASED ON 11"x17" ONLY



2 CONCRETE DRILLED SHAFT DETAIL
SCALE: 1" = 6"
SCALE BASED ON 11"x17" ONLY

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CONSTRUCTION MANAGERS, INC.

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WEEKI WACHEE
GARDENS
FL-5159
SHOAL LINE BOULEVARD
WEEKI WACHEE, FLORIDA 34607
HERNANDO COUNTY

SHEET DESCRIPTION

PLATFORM
DRILL SHAFT
DETAILS

SHEET NUMBER

S-7

USA Engineering - T:\00-2016 PROJECTS\25-Vertex Development\WEEKI WACHEE GARDENS - FL-5159 DESIGN\WEEKI WACHEE GARDENS_CD2.dwg June 23, 2017 2:31:37 PM brandonf

ELECTRICAL SPECIFICATIONS

GENERAL

- A. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR AND INCIDENTAL TO THE COMPLETE INSTALLATION AND OPERATION OF ALL ELECTRICAL WORK. ALL WORK SHALL BE DONE BY QUALIFIED PERSONNEL.
- B. CONFORM TO THE 2014 FLORIDA BUILDING CODE & 2008 NATIONAL ELECTRIC CODE. THE CURRENT NATIONAL ELECTRICAL SAFETY CODE ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION. THE INSTALLATION SHALL COMPLY WITH THESE & ALL APPLICABLE RULES & REGULATIONS OF LOCAL AND STATE AUTHORITIES HAVING JURISDICTION.
- C. COORDINATE THE WORK OF ALL TRADES.
- D. ARRANGE CONDUIT, WIRING, EQUIPMENT, AND OTHER WORK GENERALLY AS SHOWN, PROVIDING PROPER CLEARANCES AND ACCESS. CAREFULLY EXAMINE ALL CONTRACT DRAWINGS AND FIT THE WORK IN EACH LOCATION WITHOUT SUBSTANTIAL ALTERATION. WHERE DEPARTURES ARE PROPOSED BECAUSE OF FIELD CONDITIONS OR OTHER CAUSES, PREPARE AND SUBMIT DETAILED DRAWINGS FOR ACCEPTANCE. THE RIGHT IS RESERVED TO MAKE REASONABLE CHANGES IN LOCATION OF EQUIPMENT, CONDUIT, AND WIRING UP TO THE TIME OF ROUGH-IN OR FABRICATION.
- E. THE CONTRACT DRAWINGS ARE GENERALLY DIAGRAMMATIC AND ALL OFFSETS, BENDS, FITTINGS AND ACCESSORIES ARE NOT NECESSARILY SHOWN. PROVIDE ALL SUCH ITEMS AS MAY BE REQUIRED TO FIT THE WORK TO THE CONDITIONS
- F. THERE SHALL BE NO INTERRUPTION OF POWER TO EXISTING ELECTRICAL SYSTEMS WITHOUT PRIOR CONSENT OF THE BUILDING OWNER. SUCH INTERRUPTIONS SHALL BE KEPT TO A MINIMUM AND SHALL BE SCHEDULED WITH THE OWNER AT LEAST THREE BUSINESS DAYS IN ADVANCE OF THE OUTAGE. ANY COST FOR WORK THAT MUST BE DONE ON AN OVERTIME BASIS SHALL BE INCLUDED IN THE BID.
- G. VISIT THE SITE AND INSPECT THE EXISTING CONDITIONS BEFORE BID IN ORDER TO ENSURE PROPER EVALUATION OF WORKING CONDITIONS AND LOCATION OF EXISTING CONDITIONS.
- H. WHERE OUTLETS ARE REMOVED OR CIRCUITS INTERRUPTED OR BROKEN, PROVIDE THE REQUIRED RELOCATION, RECONNECTION OR REARRANGEMENT TO RESTORE SERVICE TO ALL ITEMS, OUTLETS, ETC. NOT MADE OBSOLETE BY THIS WORK.
- I. MOUNTING AND SUPPORTING OF ALL EQUIPMENT PROVIDED UNDER THIS SECTION SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER IN THE FIELD.

PERMITS AND FEES

- A. OBTAIN, PAY FOR, AND DELIVER ALL PERMITS, CERTIFICATES OF INSPECTION, ETC., REQUIRED BY THE AUTHORITIES HAVING JURISDICTION. DELIVER CERTIFICATES TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE WORK.

MATERIAL AND EQUIPMENT

- A. MATERIAL AND EQUIPMENT INSTALLED AS A PART OF THE PERMANENT INSTALLATION SHALL BE NEW UNLESS OTHERWISE INDICATED OR SPECIFIED, AND SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LAB, FOR INSTALLATION IN EACH PARTICULAR CASE, WHERE STANDARDS HAVE BEEN ESTABLISHED.

CUTTING AND PATCHING

- A. PROVIDE ALL CUTTING AND PATCHING NECESSARY FOR THE INSTALLATION OF THE ELECTRICAL WORK. ANY DAMAGE DONE TO THE WORK ALREADY IN PLACE BY REASON OF THIS WORK SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE BY A QUALIFIED MECHANIC EXPERIENCED IN SUCH WORK. PATCHING SHALL BE UNIFORM IN APPEARANCE AND SHALL MATCH THE SURROUNDING SURFACE. DO NOT CUT STRUCTURAL MEMBERS WITHOUT APPROVAL BY THE CONSTRUCTION MANAGER. WHERE PENETRATIONS ARE NECESSARY THROUGH THE ROOF, PROVIDE ALL NECESSARY CURBS, SLEEVES, SHIELDS, FLASHING, FITTINGS, AND CAULKING TO MAKE THE PENETRATIONS ABSOLUTELY WATERTIGHT.

ELECTRICAL WORK UNDER OTHER DIVISIONS

- A. IN GENERAL POWER WIRING FOR SYSTEMS ARE INCLUDED UNDER THIS SPECIFICATION. CAREFULLY REVIEW THE CONTRACT DOCUMENTS AND COORDINATE THE ELECTRICAL WORK TO BE PERFORMED UNDER THE OTHER DIVISIONS.

GUARANTEE

- A. GUARANTEE THE ELECTRICAL SYSTEM INSTALLED BY THE CONTRACTOR FREE FROM ALL MECHANICAL AND ELECTRICAL DEFECTS FOR THE PERIOD OF ONE YEAR BEGINNING FROM THE DAY OF FINAL ACCEPTANCE OF THE WORK OR BENEFICIAL OCCUPANCY BY THE OWNER, WHICHEVER OCCURS FIRST.
- B. UPON RECEIPT OF NOTICE FROM THE OWNER OF FAILURE OF ANY PART OF THE ELECTRICAL INSTALLATION DURING THE GUARANTEE PERIOD, NEW REPLACEMENT PARTS SHALL BE FURNISHED AND INSTALLED PROMPTLY AT NO COST TO THE OWNER

CONDUIT AND FITTINGS

- A. MINIMUM CONDUIT SIZE SHALL BE 4". (UNLESS OTHERWISE INDICATED)
- B. SUPPORT ALL CONDUIT NOT EMBEDDED IN CONCRETE OR MASONRY SO THAT STRAIN IS NOT TRANSMITTED TO OUTLET BOXES AND PULL BOXES, ETC. SUPPORTS TO BE SUFFICIENTLY RIGID TO PREVENT DISTORTION OF CONDUITS DURING WIRE PULLING.
- C. ALUMINUM CONDUIT IS PROHIBITED.
- D. ALL CONDUITS SHALL BE GALVANIZED ELECTRICAL METALLIC TUBING (EMT) INTERIOR ONLY, PVC, OR RIGID GALVANIZED STEEL (EXTERIOR EXPOSED)
- E. EMT CONDUIT FITTINGS SHALL BE FERROUS COMPRESSION TYPE, INTERIOR ONLY.
- F. IN DAMP OR WET LOCATIONS USE FLEXIBLE, LIQUID-TIGHT METAL CONDUIT WITH APPROVED FITTINGS.

COORDINATION

- A. COORDINATE THE WORK OF POWER, GROUNDING AND TELCO AT EQUIPMENT WITH EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN. FINAL TERMINATIONS TO BE AT THE DIRECTION OF THE EQUIPMENT SUPPLIER.
- B. PRIOR TO BEGINNING WORK CONTRACTOR SHALL COORDINATE ALL POWER & TELCO WITH THE LOCAL UTILITY COMPANY AS IT MAY APPLY TO THIS SITE. ALL WORK TO COMPLY WITH THE RULES AND REGULATIONS OF THE UTILITIES INVOLVED.

WIRES AND CABLES (600 VOLTS)

- A. BUILDING WIRE, UNLESS OTHERWISE INDICATED SHALL BE 600 VOLTS, TYPE THWN INSULATION (75°C). CONDUCTORS SHALL BE SIZED AND RUN AS INDICATED CONDUCTORS SHALL BE SOFT DRAWN COPPER OF NOT LESS THAN 98% CONDUCTIVITY.

CONDUCTOR INSULATION

- A. ALL CONDUCTORS SHALL BE COLOR CODED AS REQUIRED BY NEC AND FURTHER IDENTIFIED AND CODED AS SPECIFIED HEREINAFTER. COLOR CODING SHALL BE BY MEANS OF COLORED INSULATING MATERIAL, COLORED BRAID OR JACKET OVER THE INSULATION OR BY MEANS OF SUITABLE COLORED, PERMANENT, NON-AGING, INSULATING TAPE APPLIED TO CONDUCTORS AT EACH CABINET OR JUNCTION POINT. THE COLOR CODING SHALL BE ACCOMPLISHED AS THE CONDUCTORS ARE INSTALLED. THE FOLLOWING SYSTEMS OF COLOR CODING SHALL BE STRICTLY ADHERED TO:

- A) GROUND LEADS: GREEN
B) GROUNDED NEUTRAL LEADS: WHITE
C) 120/208 VOLT (120/240 VOLT) UNGROUNDED PHASE WIRES; BLACK, RED, BLUE

THE COLOR CODE ASSIGNED TO EACH PHASE WIRE SHALL BE CONSISTENTLY FOLLOWED THROUGHOUT.

CONDUIT SUPPORTS

- A. SUPPORT SURFACE RUNS OF CONDUIT USING ONE OR TWO HOLE PIPE STRAPS. STRAP SPACING 6 FOOT ON CENTERS, MAXIMUM, UNLESS NOTED OTHERWISE.
- B. FASTEN STRAPS TO CONCRETE USING INSERTS OR EXPANSION BOLTS AND TO HOLLOW MASONRY USING TOGGLE BOLTS. WOODEN PLUGS ARE UNACCEPTABLE.

OUTLET, JUNCTION AND PULL BOXES

- A. ALL BOXES, WHETHER OUTLET, JUNCTION, PULL, OR EQUIPMENT SHALL BE FURNISHED WITH APPROPRIATE COVERS.
- B. NO SECTIONALIZED BOXES SHALL BE USED.
- C. OUTLET, JUNCTION AND PULL BOXES SHALL BE SHEET STEEL. WHERE REQUIRED TO FACILITATE PULLING OF WIRES OR CABLES, SUCH BOXES SHALL BE RIGIDLY MOUNTED AND INSTALLED IN ACCESSIBLE LOCATIONS.

SAFETY DISCONNECT SWITCH

- A. PROVIDE SAFETY DISCONNECT SWITCHES AS SHOWN ON THE DRAWINGS AND WHERE REQUIRED BY THE NATIONAL ELECTRICAL CODE. SWITCHES SHALL BE HORSEPOWER-RATED WHERE APPLICABLE, AND SHALL BE THE SIZES REQUIRED. SERVICE ENTRANCE SWITCH SHALL BE SO RATED.
- B. SWITCHES SHALL BE HEAVY DUTY TYPE FUSED OR UNFUSED, AS INDICATED; SIDE HANDLE OPERATED, NEMA 1 FOR GENERAL INTERIOR WORK AND NEMA 3R STEEL FOR EXTERIOR, DAMP, OR WET LOCATIONS. SWITCHES SHALL BE EQUIPPED WITH A COVER INTERLOCK TO PREVENT OPERATION WITH COVER OPEN.
- C. SWITCHES SHALL BE VISIBLE BLADE, EXTERNALLY OPERATED, WITH ALL CURRENT CARRYING PARTS SILVER OR TIN-PLATED. ALL SWITCHES SHALL HAVE PROVISIONS FOR NOT LESS THAN THAN TWO EXTERNAL PADLOCK.

GROUNDING

- A. PROVIDE GROUND FOR ALL RACEWAYS, DEVICES, AND UTILIZATION EQUIPMENT PERMANENTLY AND EFFECTIVELY IN ACCORDANCE WITH REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AND AS HEREINAFTER SPECIFIED. ALL GROUNDED NEUTRAL CONDUCTORS SHALL BE CONTINUOUSLY IDENTIFIED. ALL GROUNDING AND BONDING CONNECTIONS SHALL BE SOLDERLESS.
- B. PROVIDE INSULATED GROUNDING CONDUCTORS FOR FEEDER AND BRANCH CIRCUIT WIRING AS CALLED FOR ON THE PLANS. PROVIDE GROUNDING BLOCKS, TERMINALS, ETC., FOR CONNECTION OF GROUND WIRE IN ALL DISTRIBUTION EQUIPMENT, OUTLETS, JUNCTION BOXES, AND UTILIZATION EQUIPMENT. TERMINATE WITH LUGS OR COMPRESSION TERMINALS. CONDUCTORS LOOPED UNDER BOLTS OR SCREWS WILL NOT BE ACCEPTABLE.
- C. GROUND RODS, WHEN NEEDED SHALL BE STEEL, COPPER CLAD 5/8" DIAMETER BY TEN FEET LONG. GROUND ROD SHIELDS TO BE PROVIDED FOR DRIVING RODS. SERVICE GROUND RODS SHALL BE ¾" X 10' AND COPPER CLAD STEEL.
- D. THE MAXIMUM RESISTANCE OF THE COMPLETED GROUNDING SYSTEM SHALL NOT EXCEED 5 OHMS ON ANY PART OF THE SYSTEM. IF DUE TO SOIL CONDITIONS OR OTHER PARAMETERS THIS MAXIMUM VALUE IS EXCEEDED, CONTACT THE ENGINEER FOR ADDITIONAL INSTRUCTIONS.
- E. GROUND BAR PLATES ARE TO BE MANUFACTURED EXACTLY AS DETAILED AND DIMENSIONED.
- F. ALL MOUNTING HARDWARE SHALL BE STAINLESS STEEL
- G. ALL BARE COPPER SURFACES SHALL BE COATED PRIOR TO LUGGING. JOINT COMPOUND SHALL BE KOPR-SHIELD BY THOMAS & BETTS.

- I. CONNECTION OF CONDUCTORS BELOW GRADE TO GROUND RODS, GROUND RINGS, GROUND WELL, ETC., SHALL BE EXOTHERMIC TYPE WELDING CONNECTIONS "CADWELD".
- J. CONNECTION OF CONDUCTORS ABOVE GRADE TO METALLIC OBJECTS OR IN HANDHOLES SHALL BE WITH PRESSURE TYPE CRIMP CONNECTORS, BOLTED CLAMPS, OR SPLIT BOLT CONNECTIONS WITH SOLID BRONZE HARDWARE. CADMIUM PLATED STEEL HARDWARE IS NOT ACCEPTABLE. CONNECTIONS TO INTERIOR HALO GROUND RING SHALL BE WITH 'C' CLAMPS. SOLID TO SOLID AND STRANDED CONDUCTORS REQUIRES TWO (2) CLAMPS. ALL 'C' CLAMPS REQUIRE INSTALLATION WITH THE CORRECT HYDRAULIC CLAMP TOOL.

SUPPORTS, HANGERS AND FOUNDATIONS

- A. PROVIDE ALL SUPPORTS, HANGERS, BRACES, ATTACHMENTS, AND FOUNDATIONS REQUIRED FOR THE WORK. SUPPORT AND SET THE WORK IN A THOROUGHLY SUBSTANTIAL AND WORKMANLIKE MANNER WITHOUT PLACING STRAINS ON THE MATERIALS, EQUIPMENT, OR THE BUILDING STRUCTURE.
- B. SUPPORTS, HANGERS, BRACES AND ATTACHMENTS SHALL BE STANDARD MANUFACTURED ITEMS OR FABRICATED STRUCTURAL STEEL SHAPES.


AS-BUILT DATA

- A. CONTRACTOR SHALL PREPARE AND SUBMIT TO THE CONSTRUCTION MANAGER "AS-BUILT" DRAWINGS FOR CHANGES OR DEVIATIONS FROM CONTRACT DRAWINGS TO THE FOLLOWING:
- SOURCE, ORIGIN, AND/OR ROUTING OF MAIN FEEDERS
 - LOCATION OF MAJOR PIECES OF DISTRIBUTION EQUIPMENT SUCH AS KILOWATT-HOUR METER AND MAIN FEEDER OVERCURRENT DEVICES.


IDENTIFICATION OF EQUIPMENT

- A. ALL EQUIPMENT SHALL BE MARKED WITH WARNING LABELS AND SIGNAGE AS REQUIRED BY THE NATIONAL ELECTRIC CODE AND OTHER APPLICABLE STANDARDS.

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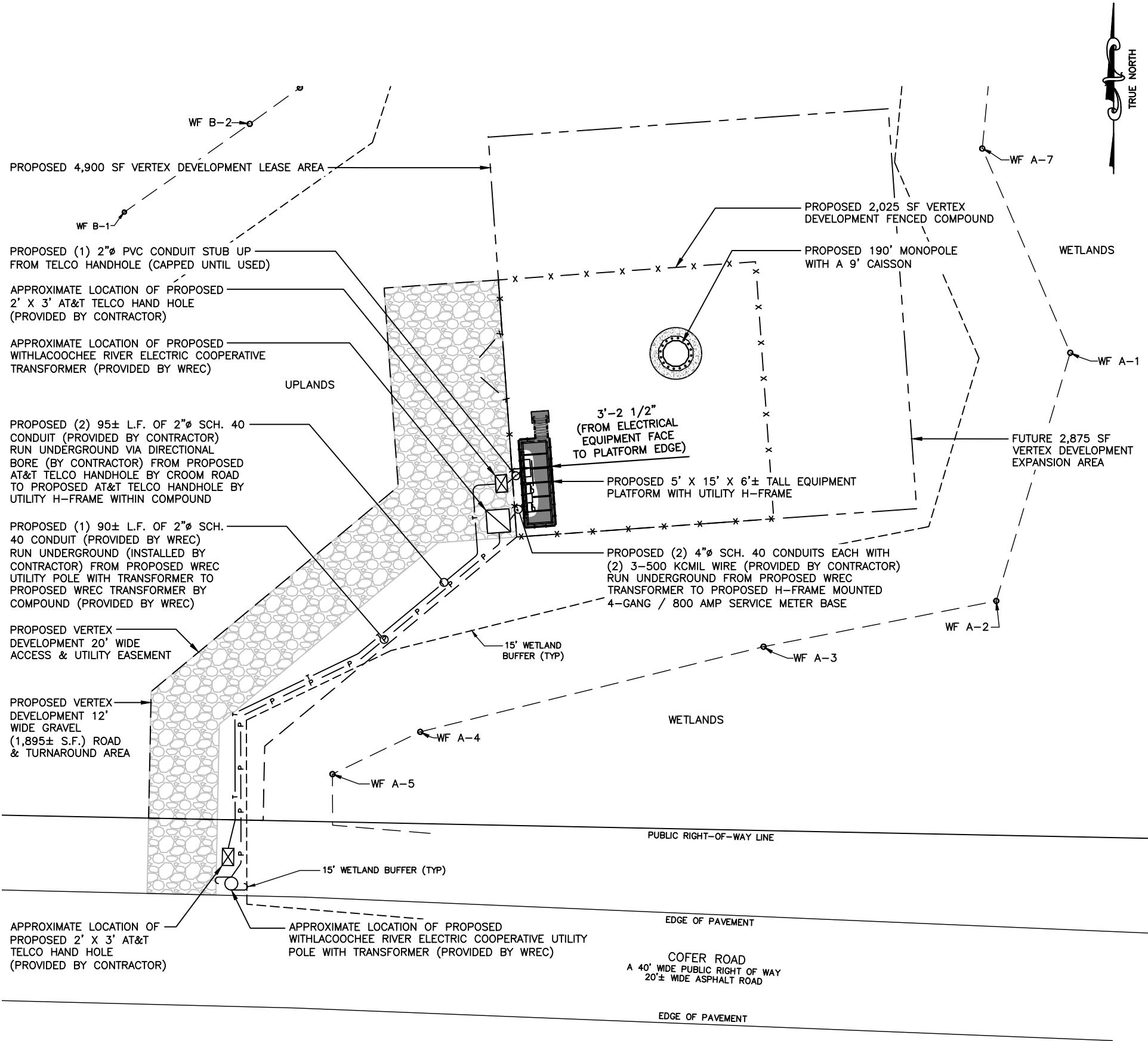
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ELECTRICAL
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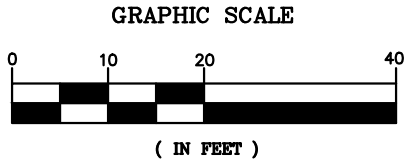
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USA Engineering - T:\00-2016 PROJECTS\25-Vertex Development\WEEK1 WACHEE GARDENS - FL-5159 DESIGN\WEEK1 WACHEE GARDENS_CD2.dwg June 23, 2017 2:31:43 PM brandonf



1 E-2 **ELECTRICAL PLAN** SCALE: 1" = 20'-0" SCALE BASED ON 11"x17" ONLY



GENERAL ELECTRICAL NOTES

- 1.) ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRIC CODE, LATEST ADOPTED EDITION, AND LOCAL CODES.
- 2.) ALL ELECTRICAL MATERIALS, EQUIPMENT AND INSTALLATION PROCEDURES TO CONFORM WITH COMMUNICATIONS INTERNATIONAL SPECIFICATIONS.
- 3.) ELECTRICAL PLANS, DETAILS, AND DIAGRAMS ARE DIAGRAMMATIC ONLY. FIELD CONDITIONS DICTATE THE AMOUNT AND LOCATION OF EQUIPMENT.
- 4.) ALL MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NFPA, AND "UL" LISTED.
- 5.) THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY THE NEC, AND ALL APPLICABLE LOCAL CODES.
- 6.) ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A MINIMUM INTERRUPTING RATING GREATER THAN THE UTILITY FAULT CURRENT.
- 7.) FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS AND INSTRUCTIONS.
- 8.) PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
- 9.) PROVIDE EXPERT CONSTRUCTION MANAGERS WITH ONE SET OF COMPLETE ELECTRICAL "AS-BUILT" DRAWINGS AT THE COMPLETION OF THE JOB SHOWING ACTUAL ROUTINGS AND WIRING CONNECTIONS.
- 10.) LABEL ALL ELECTRICAL EQUIPMENT PER NEC SPECIFICATIONS.
- 11.) ALL SINGLE-PHASE SELF-CONTAINED METER CONNECTION DEVICES MUST INCLUDE HORN TYPE BY-PASS PROVISION SO THAT SERVICE WILL NOT BE INTERRUPTED WHEN A METER IS REMOVED FROM THE SOCKET.
- 12.) ALL EQUIPMENT PUNCH OUTS AND CONDUITS (USED AND SPARE) TO BE "RODENT PROOFED" WITH CAPS, STEEL MESH, AND/OR FOAM FILL BY CONTRACTOR (AS NEEDED).
- 13.) ALL INTERIOR CONDUITS AND BUSHINGS SHALL BE EMT. ALL EXTERIOR SHALL BE PVC UNLESS NOTED OTHERWISE.
- 14.) NO SPOILS TO BE LEFT ON SITE WITHOUT THE WRITTEN CONSENT OF THE LANDOWNER

GRATING NOTE:

GRATING SHALL BE ADJUSTED AND CUT AS NEEDED TO ALLOW FOR UTILITY CONDUITS TO COME UP THROUGH BOTTOM OF PLATFORM TO UTILITY H-FRAME EQUIPMENT.

CODES AND STANDARDS

ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
NEC	NATIONAL ELECTRICAL CODE, LATEST ADOPTED EDITION
NEMA	NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
UL	UNDERWRITERS LABORATORIES, INC.

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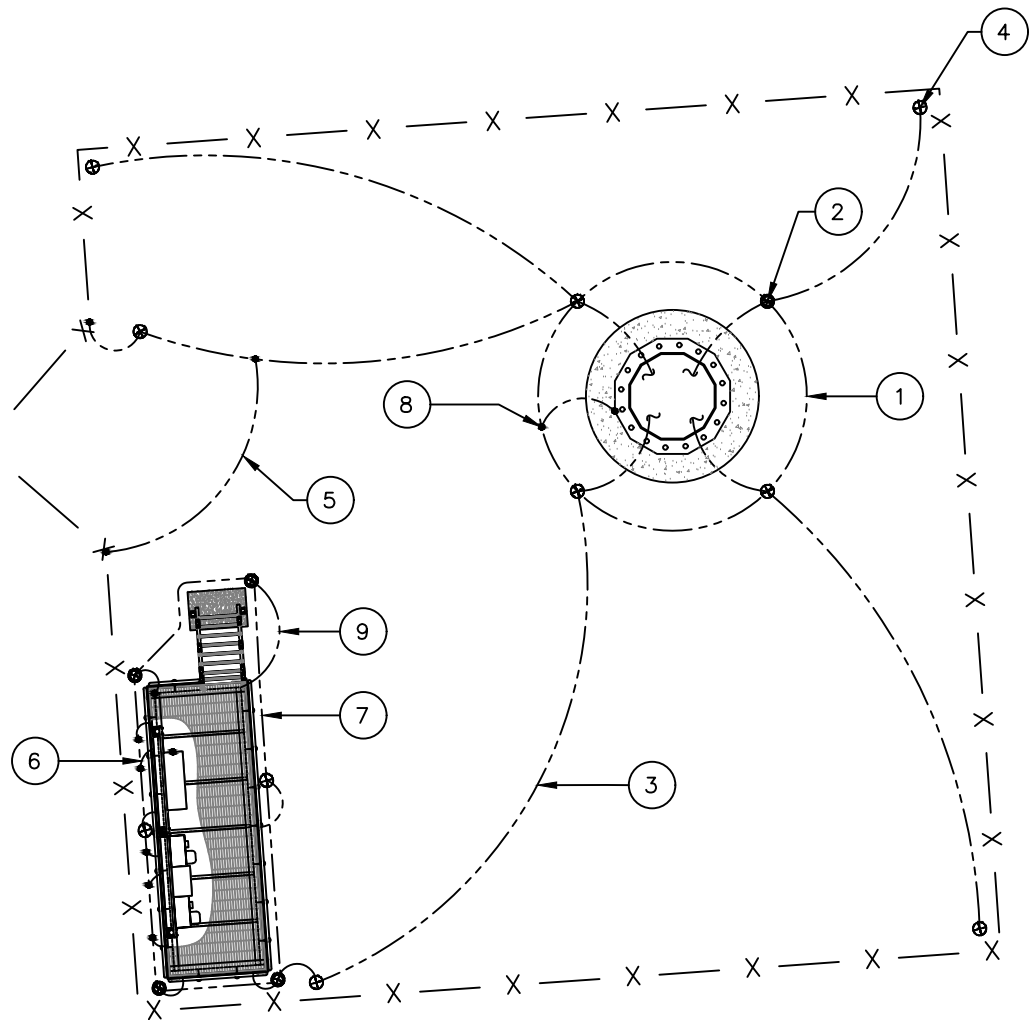
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E-2

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1
E-3
GROUNDING PLAN
SCALE: 1" = 10'
SCALE BASED ON 11"x17" ONLY



GROUNDING NOTES

1. ALL GROUNDING CONNECTIONS SHALL BE MADE USING EXOTHERMIC WELD PROCESS (CAD WELD OR EQUAL) EXCEPT FOR EQUIPMENT CONNECTIONS WHICH ARE MECHANICALLY FASTENED. ALL LUGS SHALL BE TWO HOLE, LONG BARREL TYPE, FOR COPPER, UNLESS OTHERWISE NOTED.
2. ALL GROUND RODS SHALL BE A MINIMUM OF 10 FEET LONG, COPPER CLAD STEEL (302 OR 304), 5/8" (OR 3/4" SERVICE ROD) DIAMETER, DRIVEN VERTICALLY DOWN WITH TOPS 36" MIN. BELOW GRADE. USE SHIELDS TO PREVENT "MUSHROOMING" ROD TOPS.
3. ALL GROUND CONDUCTORS SHALL BE BARE, TINNED, SOLID COPPER WIRE, SIZED #2 AWG., RUN 30" MINIMUM BELOW GRADE (UNLESS OTHERWISE NOTED).
4. GROUND RODS FOR GROUND RING SHALL BE LOCATED 10' APART MAXIMUM.
5. ANY METAL OBJECT WITHIN 6 FEET OF THE TOWER OR EQUIPMENT GROUND RING SHALL BE BONDED DIRECTLY TO THE RING.
6. THE MINIMUM BENDING RADIUS FOR ALL GROUND CONDUCTORS NO. 6 AWG OR SMALLER SHALL BE 8". CONDUCTOR LARGER THAN NO. 6 SHALL HAVE A 12" BENDING RADIUS.
7. ALL ABOVE GRADE GROUND CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD EARTH AND HORIZONTAL ONLY WHERE NECESSARY WITH NO LOOP BACKS.
8. ALL CONDUCTORS SHALL BE ROUTED SUCH THAT THERE ARE NO ANGLES OF LESS THAN 90 DEGREES.
9. COMPLETED GROUND SYSTEMS SHALL BE TESTED USING THREE POINT METHOD AND SHALL HAVE A RESISTANCE OF 5 OHMS OR LESS. IF RESISTANCE VALUE IS EXCEEDED, NOTIFY OWNER FOR FURTHER INSTRUCTIONS. SUBMIT A COPY OF THE TEST REPORT TO THE OWNER.
10. ALL GROUNDING SHALL COMPLY WITH NFPA 70 (NEC) AND NFPA 780, "LIGHTNING PROTECTION CODE".
11. ALL GROUNDING COMPONENTS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR.
12. ANY METAL CONDUIT MOUNTED ON THE TOWER SHALL BE BONDED TO THE TOWER AT EACH END.
13. ALL GROUND BARS SHALL BE TINNED COPPER 4" X 24" X 1/4" WITH PRE-DRILLED HOLES TO MATCH TWO HOLE LUGS. HARDWARE SHALL BE STAINLESS STEEL, NO ZINC COATED MATERIAL ALLOWED. MOUNT ALL GROUND BARS PARALLEL TO THE EARTH.
14. STACKING OF GROUND LUGS IS NOT PERMITTED

GROUNDING KEY

- 1 TOWER GROUND RING #2 AWG BARE TINNED. GROUND RING TO BE INSTALLED WITH NO KINKS OR BENDS AND AT A DEPTH OF 30"
- 2 GROUND ROD WITH INSPECTION WELL (TYP.)
- 3 TOWER GROUND RING TO BE BONDED TO COMPOUND GROUND RODS VIA #2 AWG BARE TINNED
- 4 TYPICAL GROUND ROD
- 5 GATE POSTS GROUNDED WITH FLEX 2/0 BONDS TO GATES (TYP. 2)
- 6 #2 AWG GROUND FROM H-FRAME POST & EQUIPMENT TO GROUND ROD
- 7 EQUIPMENT RING #2 AWG BARE TINNED. GROUND RING TO BE INSTALLED WITH NO KINKS OR BENDS AND AT A DEPTH OF 30"
- 8 #2 AWG TINNED CONNECTED TO CASSION OR REBAR CAGE & TIED TO GROUND RING
- 9 #2 AWG TINNED CONNECTED TO DRILLED SHAFT REBAR CAGE & TIED TO EQUIPMENT GROUND RING (TYP. 6)

GROUNDING LEGEND

- ⊕ TYPICAL GROUND ROD
- ⊕ GROUND ROD WITH INSPECTION WELL
- BOND TO GROUND WIRE
- #2 AWG BARE TINNED SOLID COPPER
GROUND WIRE BURIED 30" BELOW GRADE

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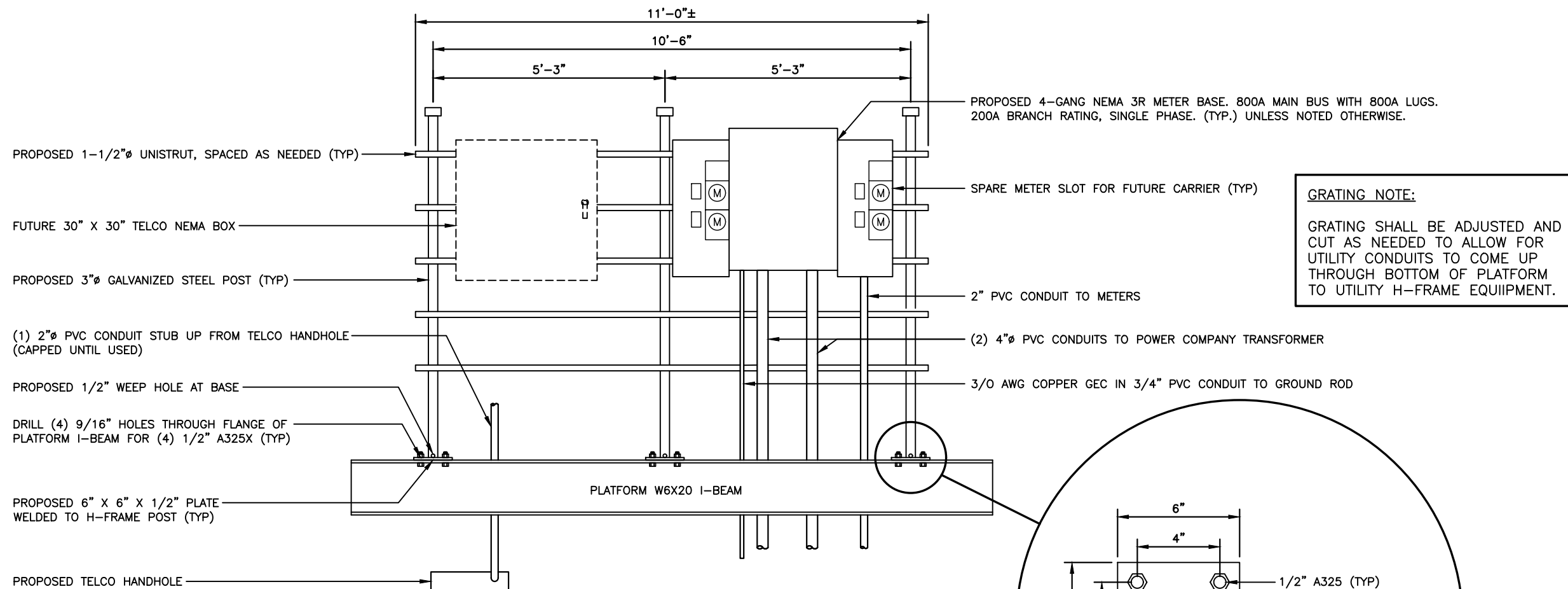
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E-3



TYPICAL FUTURE ELECTRICAL LOAD SUMMARY

120/240V-SINGLE PHASE-3W 200 AMPERE SERVICE

<u>LOAD DESCRIPTION</u>	<u>KVA</u>
LIGHTING	1.0 KVA
RECEPTACLES	1.6 KVA
AIR CONDITIONING	12.0 KVA
COMMUNICATION EQUIPMENT	25.0 KVA
FAN	0.37 KVA
TOTAL LOAD (INITIAL AND FUTURE)	39.97 KVA

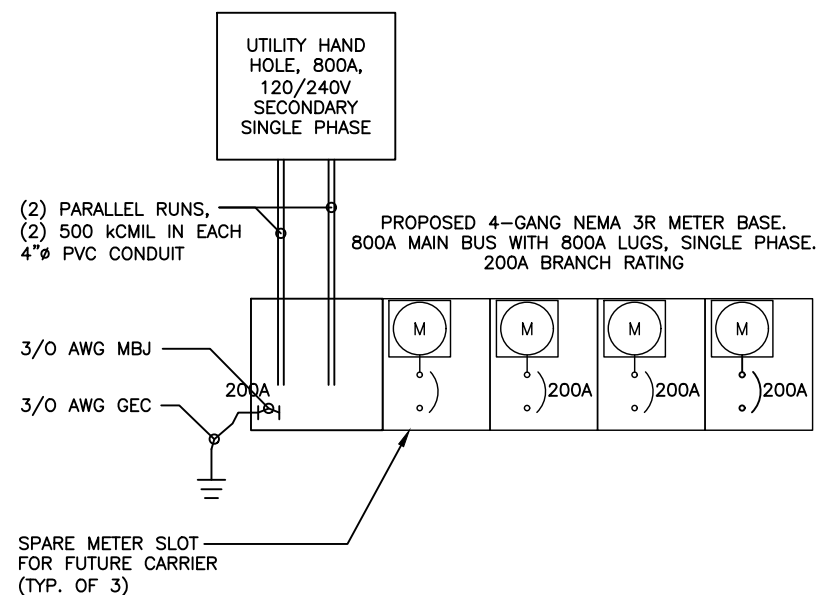
$$39.97\text{KVA} @ 0.85\text{PF} = 33.97\text{KW} @ 240\text{V} = 141.5 \text{ AMPS (70\%)}$$

FUTURE LOAD CALCULATION SUMMARY

SERVICE: 120/240V, SINGLE PHASE, 800A

4 FUTURE..... 4 @ 33.97 KW

TOTAL..... 135.88 KW



2 ONE-LINE DIAGRAM

SCALE: N.T.S.

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USA ENG PROJECT NO.: 25160001-10

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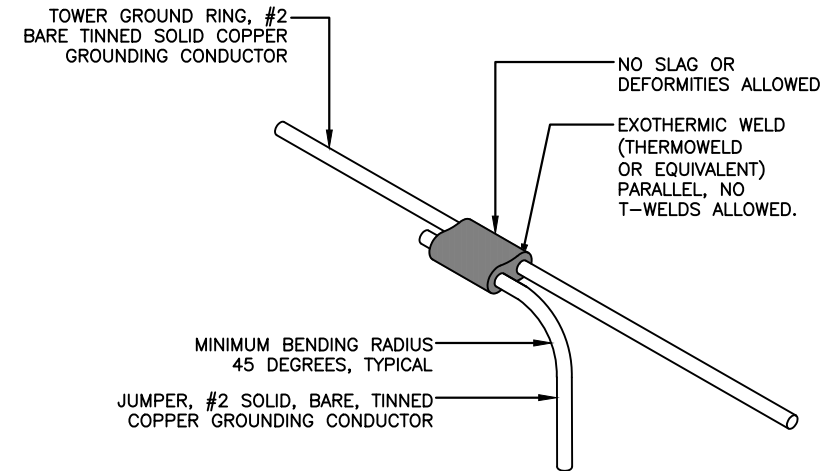
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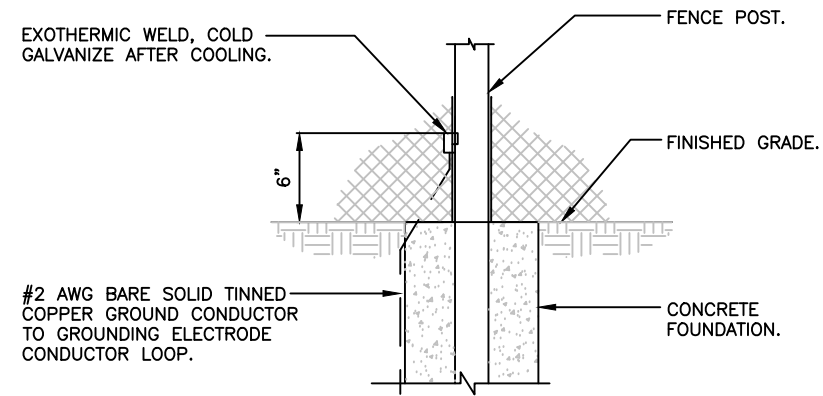
ELECTRICAL DETAILS

SHEET NUMBER

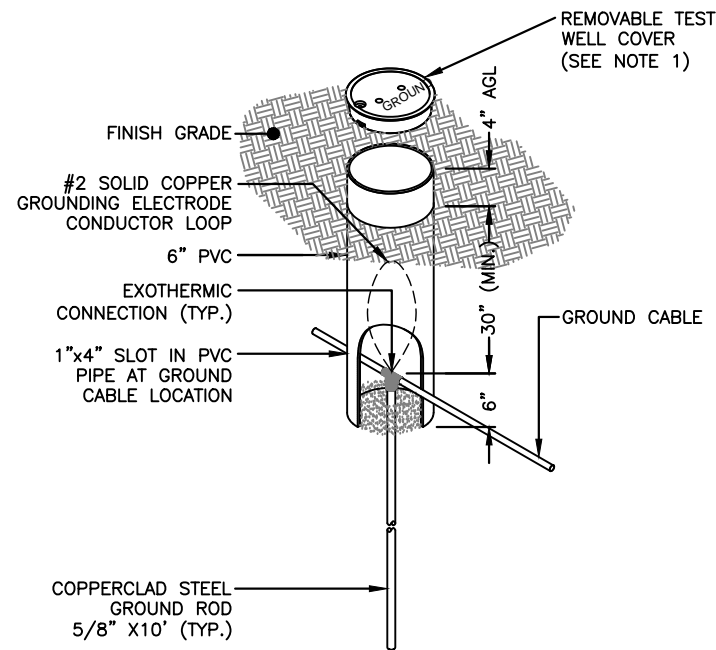
E-4



1 WELD CONNECTION DETAIL
E-5 SCALE: N.T.S.

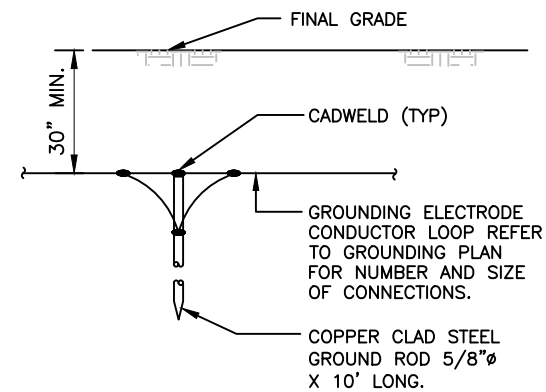


2 FENCE GROUNDING DETAIL
E-5 SCALE: N.T.S.



- NOTES:
1. CONTRACTOR SHALL PROVIDE PRE-CAST CONCRETE INSPECTION WELL WITH CAST IRON TRAFFIC RATED LID WHEN WELL WILL BE IN AN AREA OF TRAFFIC.
 2. ALL WORK SHALL CONFORM TO THE LOCAL BUILDING CODES. DEPTH MAY VARY.

3 GROUND ROD INSPECTION WELL DETAIL
E-5 SCALE: N.T.S.



4 TYPICAL GROUND ROD DETAIL
E-5 SCALE: N.T.S.

REV	DATE	DESCRIPTION
A	05/17/17	PRELIMINARY CDS REV "A"
B	05/18/17	PRELIMINARY CDS REV "B"
0	05/19/17	ISSUED CDS REV "0"
1	06/23/17	ISSUED CDS REV "1"
USA ENG PROJECT NO.: 25160001-10		
DRAWN BY:		CHECKED BY:
BMF		MM

VERTEX
DEVELOPMENT, LLC

405 SOUTH DALE MABRY
SUITE 244
TAMPA, FLORIDA 33609
PH: (813) 335-4768

EXPERT
CONSTRUCTION MANAGERS, INC.

815 SOUTH KINGS AVENUE
BRANDON, FLORIDA 33511
PH: (813) 657-7810

PREPARED BY:

USA
ENGINEERING

2818 CYPRESS RIDGE CREEK
SUITE 110
WESLEY CHAPEL, FL 33544
(813) 994-0365
FL COA #31705

MARC MAIER, PE
FL PROFESSIONAL ENGINEER LIC. # 72513

**WEEKI WACHEE
GARDENS
FL-5159**
SHOAL LINE BOULEVARD
WEEKI WACHEE, FLORIDA 34607
HERNANDO COUNTY

SHEET DESCRIPTION

ELECTRICAL
DETAILS

SHEET NUMBER

E-5

Appendix 7.4
Permits and Documentation

Building Permit

The building permit has not yet been issued. A copy of the building permit will be forwarded to the FCC when issued.



Board of County Commissioners

AGENDA ITEM

Meeting: 01/10/17 09:00 AM

Department: Planning

Prepared By: Cyndie Bogert

Initiator: Ronald Pianta

DOC ID: 12680

Legal Request Number: 2016-819

Bid/Contract Number:

TITLE

Rezoning Petition Submitted by Vertex Development, LLC (H1620)

BRIEF OVERVIEW

Request:

Public Service Facility Overlay District for a Telecommunication Tower with deviations

General Location:

Northwest corner of Shoal Line Boulevard and Cofer Road

P&Z Action:

Voted 4-1 to recommend approval with modified performance conditions.

Hearing Detail:

This petition was continued from the December 13, 2016, Board hearing to a date and time certain of January 10, 2017, hearing at 9:00 a.m. at the request of the applicant.

The following members were present at the November 14, 2016, Planning and Zoning Commission meeting: Chairman John Scharch; Vice Chairman Lynn Gruber-White; Alia Qureshi; Denis Riley; and Alternate Member Ronald Cohen. Thomas Comunale was absent.

FINANCIAL IMPACT

A matter of policy.

LEGAL NOTE:

The Board of County Commissioners has the authority to make the requested rezoning decision pursuant to Chapters 125 and 163 Florida Statutes. The Applicable Criteria for a Zoning District Amendment are contained in Appendix A, (Zoning Code) Article VI. The applicable Public Service Facility (PSF) Overlay District Standards are contained in Article IV, Section 11 together with Communication Tower standards in Article II, Section 2(F). The Zoning District Amendment must be consistent with the Comprehensive Plan.

Article II, Section 2(F)(1) of Appendix A (Zoning) requires communication towers to utilize camouflage techniques where feasible. In order to grant a deviation to the camouflage requirements, the Board of County Commissioners must make a finding to grant a deviation in accordance with Article IV, Section 11(D) of Appendix A.

STAFF RECOMMENDATION:

Review the modified performance conditions recommended by the Planning and Zoning Commission for a Public Service Facility Overlay District for a Telecommunication Tower with deviations.

REVIEW PROCESS

Omar DePablo	Completed	12/22/2016 4:15 PM
Ronald Pianta	Completed	12/21/2016 4:35 PM
Michelle Bishop	Completed	12/22/2016 2:46 PM
Pam Lee	Completed	12/27/2016 9:30 AM
Sue Bishop	Completed	12/27/2016 2:39 PM
Joseph DiNovo	Completed	12/22/2016 9:38 AM
Jenine Wimer	Completed	12/27/2016 3:30 PM
Leonard Sossamon	Completed	01/03/2017 9:52 AM
Tina Duenninger	Completed	01/05/2017 10:57 AM
Board of County Commissioners	Completed	01/10/2017 9:00 AM

RESULT: ADOPTED [4 TO 0]**MOVER:** John Allocco, Commissioner**SECONDER:** Steve Champion, Commissioner**AYES:** Nicholas W. Nicholson, John Allocco, Steve Champion, Wayne Dukes**ABSENT:** Jeff Holcomb

RESOLUTION NUMBER 2017- 14

WHEREAS, Hernando County has adopted zoning regulations pursuant to Chapter 163 and Section 125.01(1), *Fla. Stat.*, which authorize the County to regulate the use of land in the unincorporated areas of Hernando County, Florida, and take action on the request herein; and,

WHEREAS, the Hernando County Board of County Commissioners (BOCC) conducted a duly advertised public hearing on January 10, 2017, to consider the requested changes in zoning on the specified parcel(s) in Hernando County, Florida, as more fully described below.

NOW THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF HERNANDO COUNTY, FLORIDA AS FOLLOWS:

APPLICANT: Vertex Development, LLC

FILE NUMBER: H-16-20

REQUEST: Public Service Facility Overlay District for a Communication Tower with Deviations

**GENERAL
LOCATION:** Northwest corner of Shoal Line Boulevard and Cofer Road

**LEGAL
DESCRIPTION:** A portion of Section 29, Township 22 South, Range 17 East, Hernando County, FL

REQUEST: Public Service Facility Overlay District for a Communication Tower with Deviations; and subject to performance condition(s) as enumerated in the BOCC Meeting Results Memorandum (which is incorporated herein by reference and made a part hereof). The representations contained in the Applicant's rezoning application are incorporated herein by reference and made a part hereof and are relied upon by the County to be true and correct. For purposes herein, it is presumed that all requisite notice and advertising requirements have been satisfied.

**FINDINGS
OF FACT:** ALL of the facts and conditions set forth in the County's staff memoranda and presented to the BOCC in connection with the public hearing in this matter are incorporated herein by reference and made a material part of this Resolution as integral to the BOCC's action. The BOCC finds that the testimony and record supporting approval of the request to be credible and to constitute competent substantial evidence. In further support thereof, the BOCC makes the following specific findings of fact:

1. The proposed request is consistent with the County's adopted Comprehensive Plan and is compatible with the surrounding land uses subject to compliance with all performance conditions set forth in the BOCC Meeting Results Memorandum.

**CONCLUSIONS
OF LAW:**

The BOCC is authorized to act on this matter pursuant to Chapters 125 and 163, *Fla. Stat.* Accordingly, after public hearing and testimony, being fully advised in the record, and based upon competent substantial evidence, the BOCC makes the following specific conclusions of law:

1. The proposed request is consistent with the County's adopted Comprehensive Plan and is compatible with the surrounding land uses subject to compliance with all performance conditions set forth in the BOCC Meeting Results Memorandum.

ACTION:

After notice and public hearing, based upon the record in this matter and **ALL** of the findings of fact and conclusions of law above, the BOCC hereby APPROVES a Public Service Facility Overlay District for a Communication Tower with Deviations, subject to all conditions set forth in the BOCC Meeting Results Memorandum which is incorporated herein by reference and made a part hereof. Any requests, uses, variances or exceptions that were requested in connection with this application but not specifically approved herein are hereby deemed DENIED.

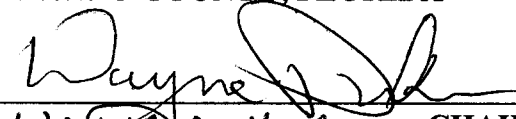
ADOPTED IN REGULAR SESSION THE 10th DAY OF JANUARY 2017.

**BOARD OF COUNTY COMMISSIONERS
HERNANDO COUNTY, FLORIDA**

Attest:


DONALD C. BARBEE, JR., CLERK

By:

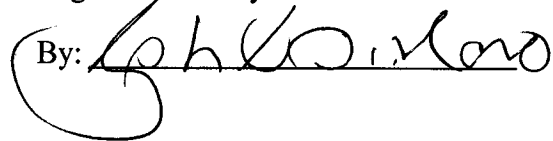

WAYNE DUKES, CHAIRMAN

(SEAL)



Approved as to Form and
Legal Sufficiency

By:





An Equal
Opportunity
Employer

Southwest Florida Water Management District

Bartow Service Office
170 Century Boulevard
Bartow, Florida 33830-7700
(863) 534-1448 or
1-800-492-7862 (FL only)

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(352) 796-7211 or 1-800-423-1476 (FL only)

TDD only: 1-800-231-6103 (FL only)

On the Internet at WaterMatters.org

June 05, 2017

USA Engineering
Marc Maier, P.E.
2818 Cypress Ridge Creek
Wesley Chapel, FL 33544

Subject: **Request for Additional Information**
Project Name: Weeki Wachee Cell Tower
Application ID: 747372
County: Hernando
Sec/Twp/Rge: S29/T22S/R17E

References: Rule 62-330, Florida Administrative Code (F.A.C.)

Dear Mr. Maier:

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Sincerely,

Esther Leong
Engineer
Environmental Resource Permit Bureau
Regulation Division

David K. Sauskojus
Senior Environmental Scientist
Environmental Resource Permit Bureau
Regulation Division

Enclosure: Checklist
cc: Vertex Development, LLC
Expert Construction Managers, Inc.

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EXEMPTION INQUIRY**

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ENGINEERING:	Esther Leong
ENVIRONMENTAL:	David Sauskojus

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Vertex Development, LLC
Attn: Alan Ruiz
405 S Dale Mabry Hwy, Suite 244
Tampa, FL 33609



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815 South Kings Avenue
Brandon, FL 33511



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