Appendix 7.3
Construction Drawings

Eco-Site
Urban Renewal Wireless

SITE NAME: BEACH PARK
T-MOBILE ID #: CH76369D
ECO-SITE ID #: IL-0019
12849 W. FORD STREET
BEACH PARK, IL 60087

PROJECT INFORMATION

COUNTY:	LAKE
SITE NAME:	BEACH PARK
T-MOBILE ID#:	CH76369D
ECO-SITE ID#:	IL-0019
SITE ADDRESS:	12849 W. FORD STREET BEACH PARK, IL 60087
LATITUDE:	42° 25' 18.70" N 42.42186111
LONGITUDE:	87° 52' 54.20" W 87.8817222
LANDLORD CONTACT:	JERRY NELLESSEN 11270 W. WADSWORTH RD. BEACH PARK, IL 60099 (847)746-1797
APPLICANT:	ECO-SITE 240 LEIGH FARM ROAD SUIT 415 DURHAM, NC 27707 ECO-SITE.COM
T-MOBILE PROJECT MANAGER:	TBD

VICINITY MAP

LOCATION MAP

SCOPE OF WORK

INSTALL 105'-0" MONOPOLE TOWER, 6'-0" HIGH CHAIN-LINK FENCE WITH DIAGONAL OPAQUE GREEN SLATS, TEMPORARY SILT FENCE, 60'X60' LEASE AREA WITH GRAVEL COMPOUND, CONCRETE PAD, (2) ICE BRIDGES (2) EQUIPMENT CABINETS, (1) ECO-SITE H-FRAME, (1) T-MOBILE H-FRAME, (1) FUTURE GENERATOR ON 5'-0"X14'-6" CONCRETE PAD, (1) TELCO/FIBER BOX, (1) POWER BOX, (1) COMMUNITY HOFFMAN BOX, FUTURE T-MOBILE MODULE, (12) T-MOBILE ANTENNAS, POWER CABLE EXTENSION, ROW OF 6'-0" HIGH ARBORVITAE TREES, IDOT LOW GROW NATIVE SEED MIX, 8'-0" WIDE UTILITY EASEMENT, 12'-0" WIDE ACCESS EASEMENT.

PROJECT CONSULTANTS

ENGINEERING:	SAC WIRELESS 1501 W. WOODFIELD ROAD, SUITE #300E SCHAUMBURG, IL 60173 TEL: (847) 944-1600 WWW.SACW.COM
STRUCTURAL ENGINEER:	N/A
SITE ACQUISITION & ZONING:	SAC WIRELESS 1501 W. WOODFIELD ROAD, SUITE #300E SCHAUMBURG, IL 60173 JIM KAYSING TEL: (630) 290-6410 WWW.SACW.COM
PROJECT MANAGER:	T.B.D.

DIRECTIONS

DIRECTIONS FROM: OHARE MITCHELL INTERNATIONAL AIRPORT

GET ON I-190 E; HEAD SOUTHEAST; TAKE THE I-190 RAMP TO I-90/I-294/CHICAGO LOOP; FOLLOW I-294 N AND I-94 W TO IL-132 E/W GRAND AVE IN WARREN. TAKE THE IL-132 E/GRAND AVE EXIT FROM I-94 W; CONTINUE ONTO I-190 E; TAKE EXIT 1C FOR I-294 N/TOLLWAY TOWARD MILWAUKEE; MERGE ONTO I-294 N; MERGE ONTO I-94 W; EXIT ONTO IL-132 E/W GRAND AVE; FOLLOW N DILLEYS RD AND W WADSWORTH RD TO W FORD ST IN BEACH PARK; MERGE ONTO IL-132 E/W GRAND AVE; TURN LEFT ONTO N DILLEYS RD; TURN RIGHT ONTO W WADSWORTH RD; TURN RIGHT ONTO N GREEN BAY RD; TURN RIGHT ONTO W FORD ST

SPECIAL NOTES

1.) (EX) CONDITIONS WILL BE CHANGED AND VERIFIED IN FIELD. IF SIGNIFICANT DEVIATIONS OR DETERIORATION ARE ENCOUNTERED AT THE TIME OF CONSTRUCTION, A REPAIR PERMIT WILL BE OBTAINED AND CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
2.) CONTRACTOR SHALL VERIFY ALL PLANS AND (EX) DIMENSIONS AND CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.
3.) THESE DRAWINGS ARE FULL SIZE AND SCALEABLE ON 11"X17" SHEET SIZE AND ARE NOT REDUCES IN SIZE.
4.) STATEMENT THAT COMPLIANCE WITH THE ENERGY CODE IS NOT REQUIRED. -SCOPE OF WORK DOES NOT INVOLVE MODIFICATIONS TO EXTERIOR ENVELOPE OF BUILDING, HVAC SYSTEMS OR ELECTRICAL LIGHTING.

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME

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CODE COMPLIANCE

BUILDING CODE: INTERNATIONAL BUILDING CODE 2013
ELECTRICAL CODE: NATIONAL ELECTRICAL CODE 2013

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ILLINOIS STATUTE REQUIRES MIN OF 2 WORKING DAYS NOTICE BEFORE YOU EXCAVATE

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NESTOR DROWYCH
001-007128
STATE OF ILLINOIS

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3	09/15/15	FOR REVIEW	GD

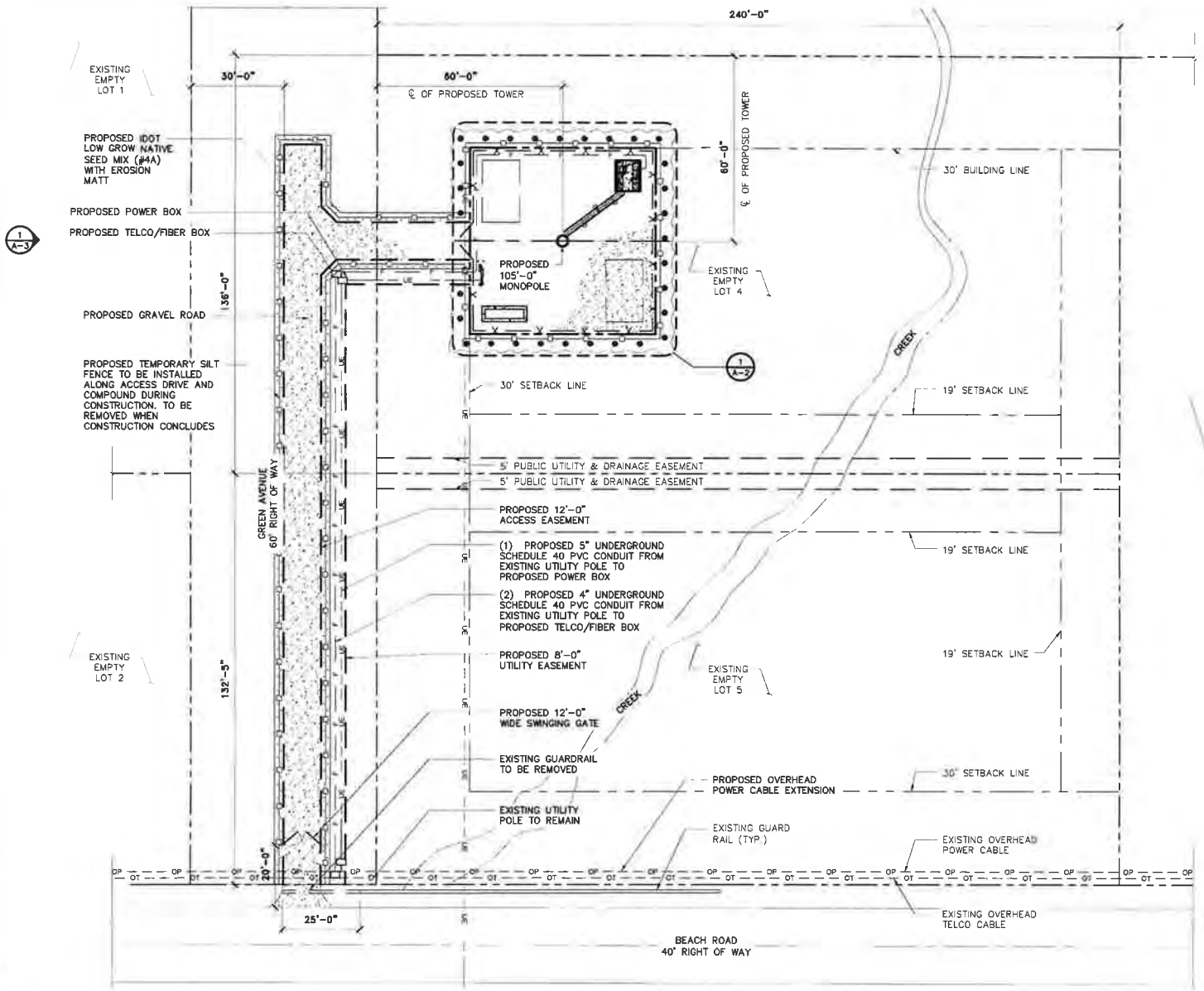
BEACH PARK
T-MOBILE ID #: CH76369D
ECO SITE ID #: IL-0019
12849 W. FORD STREET
BEACH PARK, IL 60087

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T-1



OVERALL SITE PLAN

SCALE: 1/32" = 1'-0"

1

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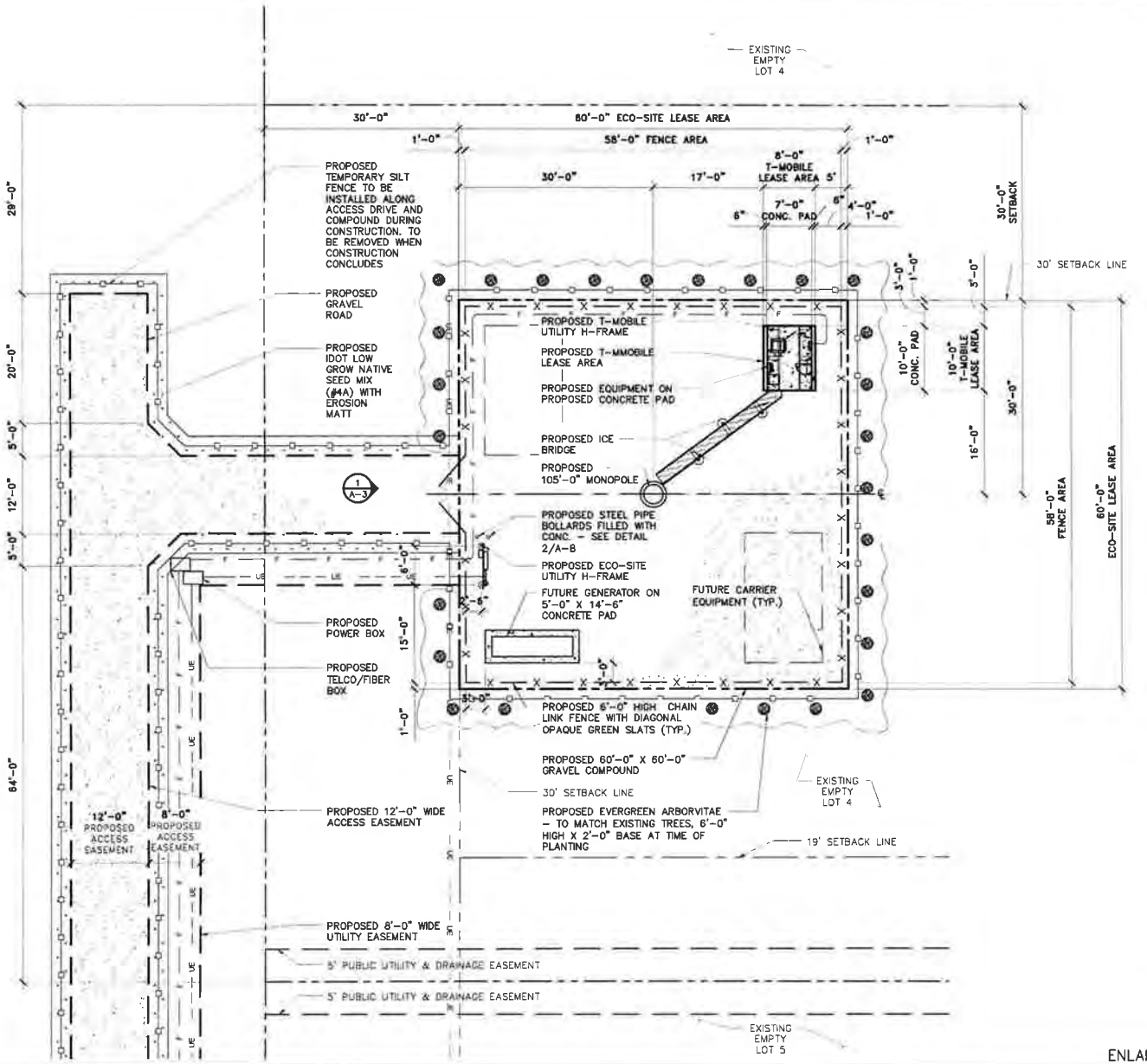
SHEET TITLE

SITE PLAN

SHEET NUMBER

A-1



ENLARGED SITE PLAN

SCALE: 1/16" = 1'-0"

1

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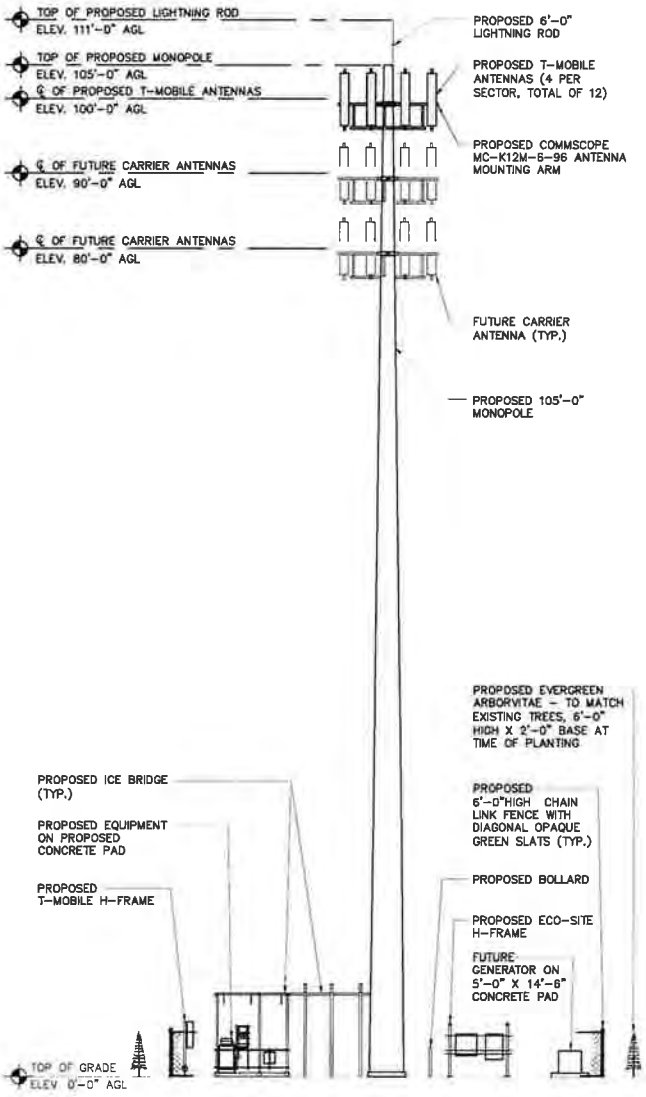
12849 W FORD STREET
BEACH PARK, IL 60087

SHEET TITLE

ENLARGED PLAN

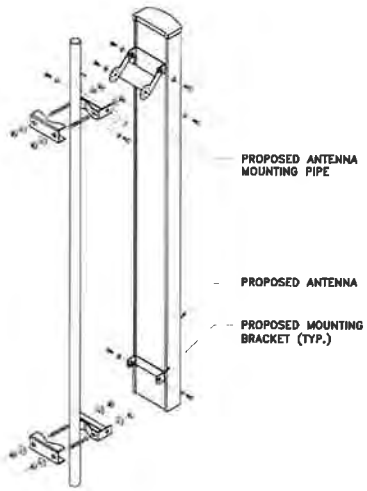
SHEET NUMBER

A-2



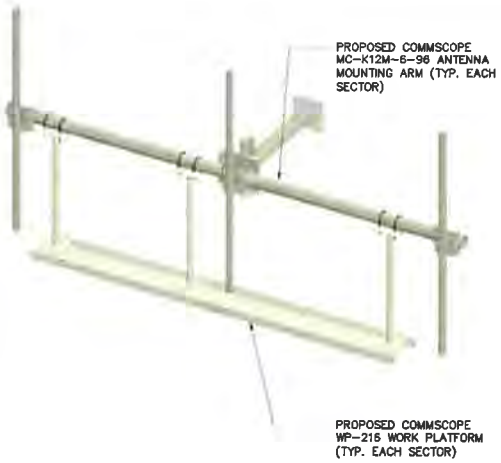
TOWER ELEVATION 1

SCALE: 1/16" = 1'-0"



MOUNTING DETAIL 2

SCALE: N.T.S.



ANTENNA MOUNTING ARM DETAIL 3

SCALE: N.T.S.

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SHEET TITLE

TOWER ELEVATION

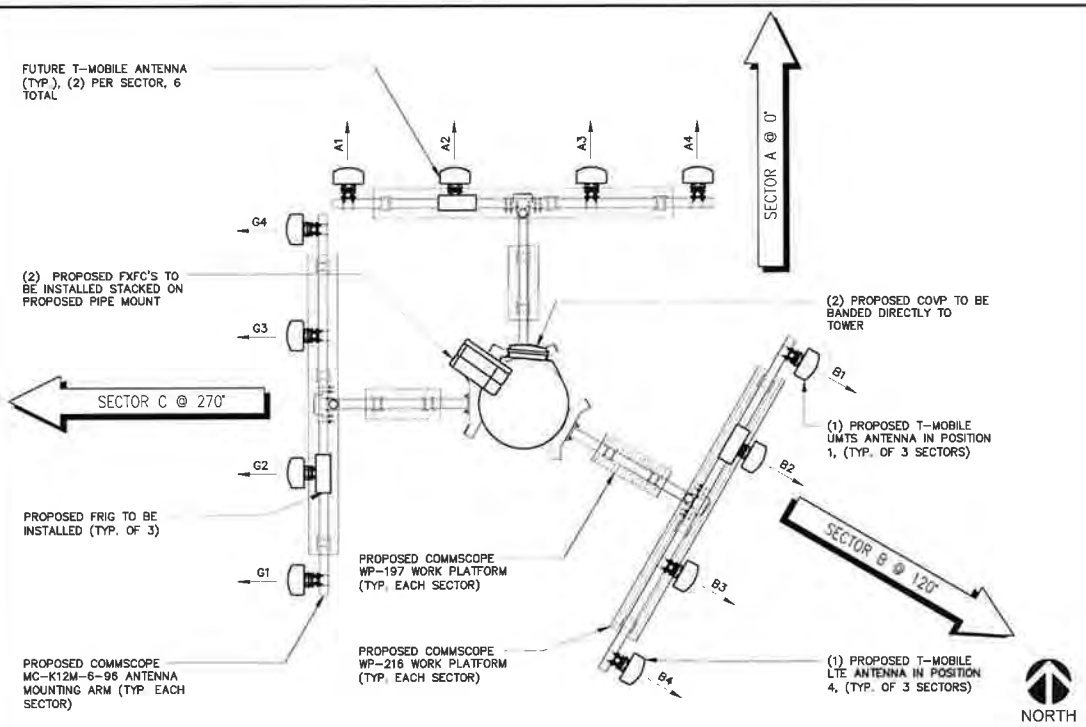
SHEET NUMBER

A-3

ANTENNA & CABLE SCHEDULE												
SECTOR	ALPHA				BETA				GAMMA			
LOCATION	A-1	A-2	A-3	A-4	B-1	B-2	B-3	B-4	G-1	G-2	G-3	G-4
TECHNOLOGY	UMTS	X	X	LTE	UMTS	X	X	LTE	UMTS	X	X	LTE
AZIMUTH	0°				120°				270°			
RAD CENTER	100'-0"				100'-0"				100'-0"			
COLOR CODING	RED (1-4)	X	X	RED (5-8)	RED (1-4)	X	X	RED (5-8)	RED (1-4)	X	X	RED (5-8)
MODEL #	ANDREW TMBXX-6516-A2M	FUTURE	FUTURE	ANDREW TMBXX-6516-A2M	ANDREW TMBXX-6516-A2M	FUTURE	FUTURE	ANDREW TMBXX-6516-A2M	ANDREW TMBXX-6516-A2M	FUTURE	FUTURE	ANDREW TMBXX-6516-A2M
MECHANICAL DOWNTILT	0	0	0	0	0	0	0	0	0	0	0	0
ELECTRICAL DOWNTILT	2	2	2	2	2	2	2	2	2	2	2	2
RRU TYPE	FRIG	X	X	(2) FXFC'S	FRIG	X	X	SHARED FXFC	FRIG	X	X	SHARED FXFC
HCS DIA & TYPE	X	X	X	X	X	X	X	X	X	X	X	X
HCS ACTUAL LENGTH	±134'-0"	±XXX'-0"	±XXX'-0"	±134'-0"	±134'-0"	±XXX'-0"	±XXX'-0"	±134'-0"	±134'-0"	±XXX'-0"	±XXX'-0"	±134'-0"
HCS FACTORY LENGTH	104'-0"	XXX'-0"	XXX'-0"	104'-0"	104'-0"	XXX'-0"	XXX'-0"	104'-0"	104'-0"	XXX'-0"	XXX'-0"	104'-0"
FIBER JUMPER LENGTH	9'-0"	XXX'-0"	XXX'-0"	9'-0"	13'-0"	XXX'-0"	XXX'-0"	15'-0"	15'-0"	XXX'-0"	XXX'-0"	19'-0"
RF JUMPER LENGTH	5'-0"	XXX'-0"	XXX'-0"	7'-0"	5'-0"	XXX'-0"	XXX'-0"	7'-0"	5'-0"	XXX'-0"	XXX'-0"	7'-0"

ANTENNA & CABLE SCHEDULE 1

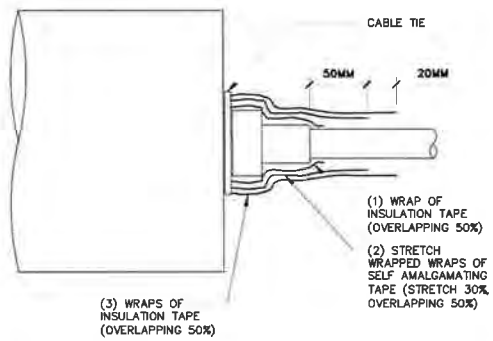
SCALE: N.T.S



ANTENNA PLAN 2

SCALE: 1/4" = 1'-0"

JUMPERS TO BE TORQUED TO 221.27 IN/LBS



RF JUMPER CONNECTION DETAIL 3

SCALE: N.T.S

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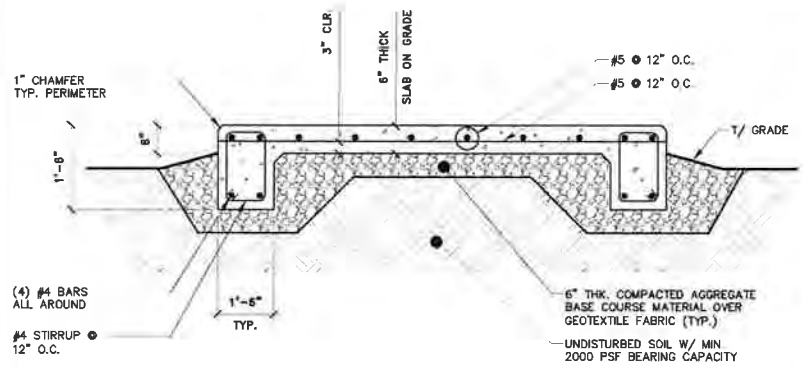
SHEET TITLE

ANTENNA PLAN

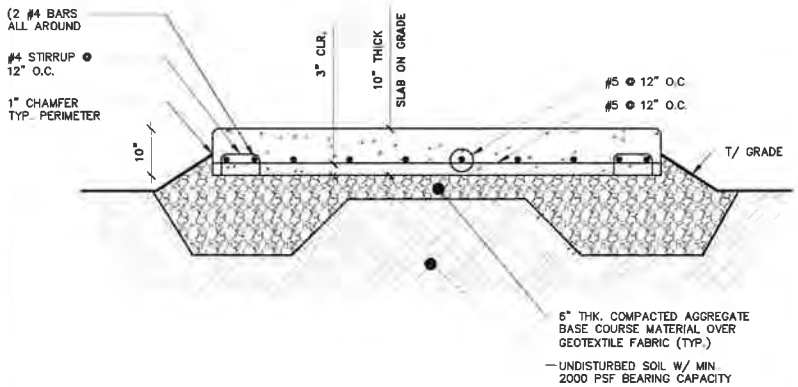
SHEET NUMBER

A-4



FOOTING DETAIL 1

SCALE: N.T.S.



ALTERNATE SLAB DETAIL 3

SCALE: N.T.S.

STRUCTURAL GENERAL NOTES

1.0 GENERAL CONDITIONS

1.1 DESIGN AND CONSTRUCTION OF ALL WORK SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE, ACI 318-05, AND STEEL CONSTRUCTION MANUAL 13TH EDITION. IN CASE OF CONFLICT BETWEEN THE CODES, STANDARDS, REGULATIONS, SPECIFICATIONS, GENERAL NOTES AND/OR MANUFACTURER'S REQUIREMENTS, USE THE MOST STRINGENT PROVISION.

1.2 IT IS THE EXPRESSED INTENT OF PARTIES INVOLVED IN THIS PROJECT THAT THE CONTRACTOR OR SUBCONTRACTOR OR INDEPENDENT CONTRACTOR OR THE RESPECTIVE EMPLOYEES SHALL EXCULPATE THE ARCHITECT, THE ENGINEER, TECH. CONSTRUCTION MANAGER, THE OWNER, AND THEIR AGENTS FROM ANY LIABILITY WHATSOEVER AND HOLD THEM HARMLESS AGAINST LOSS, DAMAGES, LIABILITY OR ANY EXPENSE ARISING IN ANY MATTER FROM THE WRONGFUL OR NEGLIGENT ACT, OR FAILURE TO CARRY METHODS, TECHNIQUES OR PROCEDURES OR FAILURE TO CONFORM TO THE STATE SCAFFOLDING ACT IN CONNECTION WITH THE WORK.

1.3 DO NOT SCALE DRAWINGS.

1.4 VERIFY ALL EQUIPMENT MOUNTING DIMENSIONS PER MANUFACTURER DRAWINGS. SEE MANUFACTURER ENCLOSURE CONNECTION DETAILS TO FOUNDATIONS.

1.5 SUBMIT ONE SEPIA AND TWO PRINTS OF ALL STRUCTURAL SHOP DRAWINGS. MARKED UP SEPIA SHALL BE RETURNED.

1.6 DESIGN LOADS ARE:
DEAD LOAD OF EQUIPMENT CABINETS:.....MAX. 10,000 LBS

2.0 A GEOTECHNICAL REPORT WAS NOT PROVIDED. FOUNDATIONS ARE DESIGNED FOR AN ASSUMED MINIMUM SOIL BEARING CAPACITY OF 2000 PSF. A GEOTECHNICAL INVESTIGATION SHOULD BE PERFORMED PRIOR TO CONSTRUCTION. IF SOIL BEARING CAPACITY IS LESS THAN WHAT IS SPECIFIED HERE, CONTACT ARCHITECT FOR A REDESIGN

3.0 CONCRETE

3.1 MEET OR EXCEED THE FOLLOWING CODES AND STANDARDS:
- DESIGN.....ACI 318-05
- CONSTRUCTION.....ACI 301
- DETAILING.....CRSI MANUAL OF STANDARD PRACTICE
- REINF. STEEL.....ASTM A 615 GRADE 60, DEFORMED
- MIXING.....ASTM C 94, READY MIX CONCRETE
- AIR ENTRAINMENT.....ACI 318 AND ASTM C-260
- AGGREGATE.....ASTM C 33 AND C 330 (FOR LIGHT WEIGHT)

3.2 CONCRETE STRENGTH AT 28 DAYS SHALL BE 4000 PSI MINIMUM.

3.3 DO NOT FIELD BEND OR WELD TO GRADE 60 REINFORCED STEEL.

3.4 PROVIDE AIR ENTRAINED CONCRETE WITH AIR CONTENT OF 5 TO 7% FOR ALL CONCRETE EXPOSED TO EARTH OR WEATHER.

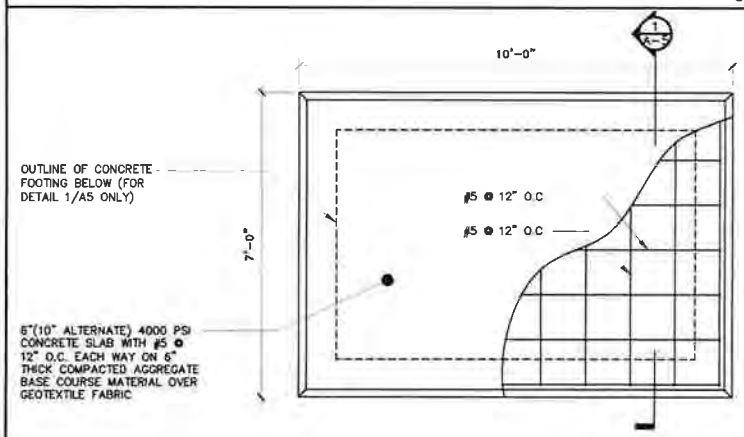
3.5 MAXIMUM AGGREGATE SIZE: 3/4" FOR FOOTINGS, WALLS, BEAMS, SLABS AND COLUMNS; 3/8" FOR CONCRETE TOPPING. DO NOT USE ANY ADMIXTURE WHICH HAS CALCIUM CHLORIDE OR WATER.

3.6 MINIMUM COVER FOR REINFORCING STEEL UNLESS INCREASED COVER IS NECESSARY TO MEET FIRE RATINGS INDICATED:
- CAST AGAINST AND EXPOSED EARTH.....3"
- EXPOSED TO EARTH AND WEATHER, #11 TO #6 BARS.....2"
- EXPOSED TO EARTH AND WEATHER, #5 OR SMALLER.....1-1/2"
- INTERIOR EXPOSURE, BEAMS AND COLUMNS.....1-1/2"
- INTERIOR EXPOSURE, SLABS, WALLS AND JOISTS.....3/4"

4.0 COMPACTION: THE STRUCTURAL FILL MATERIAL SHALL BE WELL GRADED GRANULAR SOIL AND SHALL BE PLACED IN LAYERS OF 8 INCHES. EACH LAYER SHALL BE COMPACTED TO A MINIMUM OF 98% COMPACTION BASED ON ASTM D-1557 PRIOR TO SUCCEEDING LAYERS.

STRUCTURAL GENERAL NOTES 2

SCALE: N.T.S.



CONCRETE PAD DETAIL 4

SCALE: N.T.S.

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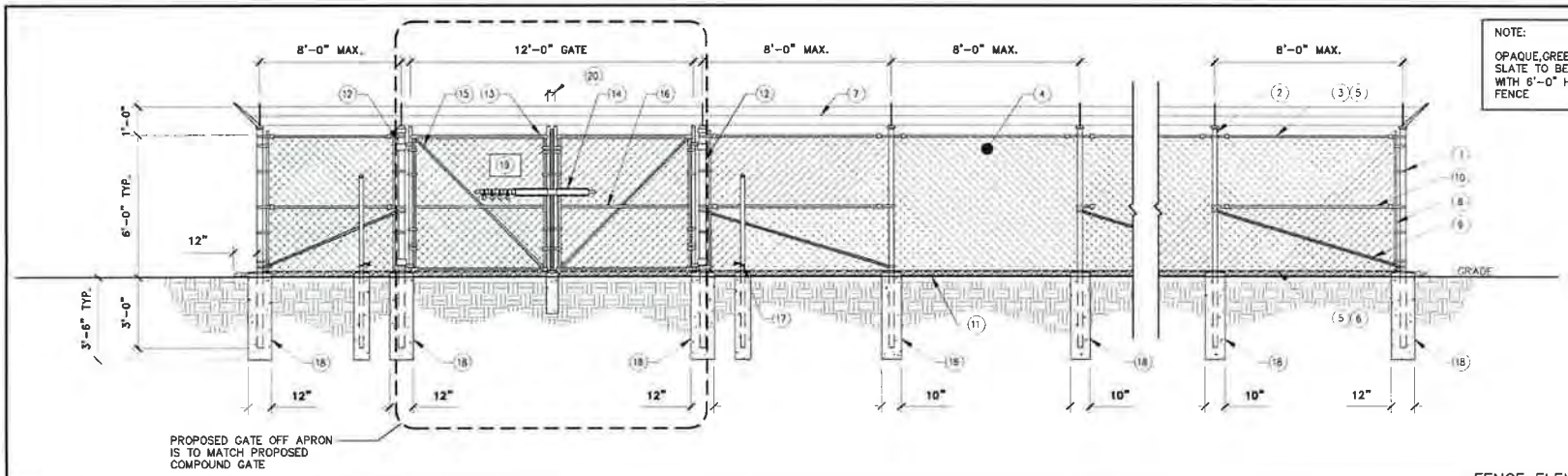
CONCRETE PAD DETAIL

SHEET NUMBER

A-5

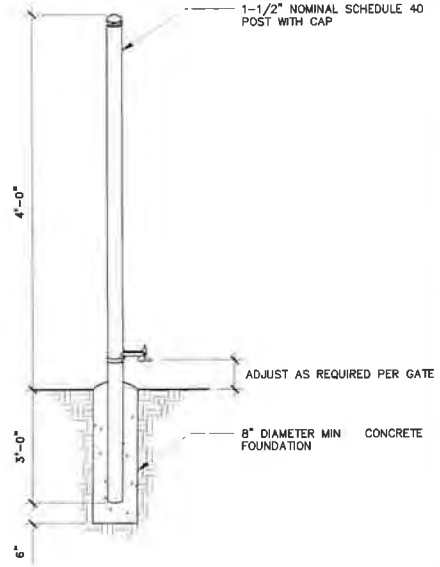


NOTE:

OPAQUE,GREEN,DIAGONAL SLATE TO BE INSTALLED WITH 6'-0" HIGH CHAINLINK FENCE

FENCE ELEVATION 1

SCALE: N.T.S



DUCKBILL GATE STOP 2

SCALE: N.T.S.

REFERENCE NOTES:

1. CORNER, END OR PULL POST: 3" NOMINAL SCHEDULE 40 PIPE.
2. LINE POST: 2-1/2" NOMINAL SCHEDULE 40 PIPE, PER ASTM F1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 8'-0" O.C. (2-7/8" O.D.)
3. TOP RAIL & BRACE RAIL: 1-1/2" NOMINAL PIPE, PER ASTM F1083.
4. FABRIC: 9 GAUGE CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM A392. GROUND CLEARANCE TO BE 2" MAX.
5. TIE WIRE: MINIMUM 11 GAUGE GALVANIZED STEEL. A SINGLE WRAP OF FABRIC TIE AT POSTS AND RAILS. BY HOG RINGS SPACED MAXIMUM 24" INTERVALS AT TENSION WIRE.
6. TENSION WIRE: 9 GAUGE GALVANIZED STEEL.
7. BARBED WIRE: DOUBLE STRAND 12 GAUGE TWISTED WIRE TO MATCH WITH FABRIC. 14 GAUGE 4 POINT BARBS SPACED APPROXIMATELY 5" ON CENTER. 45 DEGREE ARM ANGLED OUTWARD.
8. STRETCHER BAR: 3/16" X 3/4" X HEIGHT OF FENCE
9. 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
10. CORNER POST BRACE: 1-1/4" NOMINAL PIPE EACH CORNER EACH WAY.
11. FINISH GRADE SHALL BE UNIFORM, LEVEL AND EXTEND 12" BEYOND FENCE BOUNDARY.
12. GATE POST: 3-1/2" NOMINAL SCHEDULE 40 PIPE, FOR GATE WIDTHS UP THRU 10 FEET OR 20 FEET FOR DOUBLE SWING GATE, PER ASTM F1083.
13. GATE FRAME: 1-1/2" NOMINAL PIPE, PER ASTM F1083.
14. GATE LATCH STYMIELOCK
15. GATE DIAGONAL: GALVANIZED STEEL 1-1/2" NOMINAL PIPE.
16. GATE FRAME BRACE: 1-5/8" NOMINAL PIPE.
17. DUCK BILL OPEN GATE HOLDER. VERIFY LOCATION IN FIELD PRIOR TO INSTALLATION.
18. POST CONCRETE FOUNDATION (2000 PSI).
19. SIGNAGE PROVIDED BY OWNER.
20. GAP BETWEEN GATES: 1" MIN. / 3" MAX.

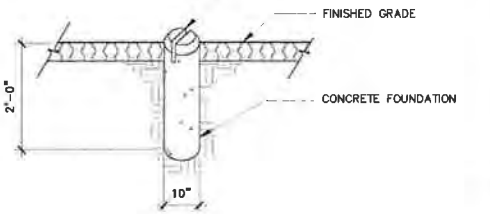
REFERENCE NOTES 3

SCALE: N.T.S.

GENERAL NOTES:

1. INSTALL FENCING PER ASTM F567.
2. INSTALL SWING GATES PER ASTM F900.
3. COMPLY WITH LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT, IF REQUIRED.
4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE 1-1/4" NOMINAL SCHEDULE 40 GALVANIZED MINIMUM (HOT DIP, ASTM F1083 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALVANIZING (OR EQUAL).
5. ALL OPEN POSTS SHALL HAVE END-CAPS.
6. USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS.
7. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC.

NOTE:
MUSHROOM STOP TO BE "MASTER HALCO #15912"



MUSHROOM GATE STOP 4

SCALE: N.T.S.

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SUBMITTALS

#	DATE	DESCRIPTION	BY
B	03/16/15	FOR REVIEW	GD
C	04/23/15	FOR REVIEW	GD
D	04/23/15	FOR REVIEW	GD
0	05/13/15	FOR REVIEW	GD
1	07/13/15	FOR REVIEW	GD
2	07/23/15	FOR REVIEW	GD
3	08/18/15	FOR REVIEW	GD

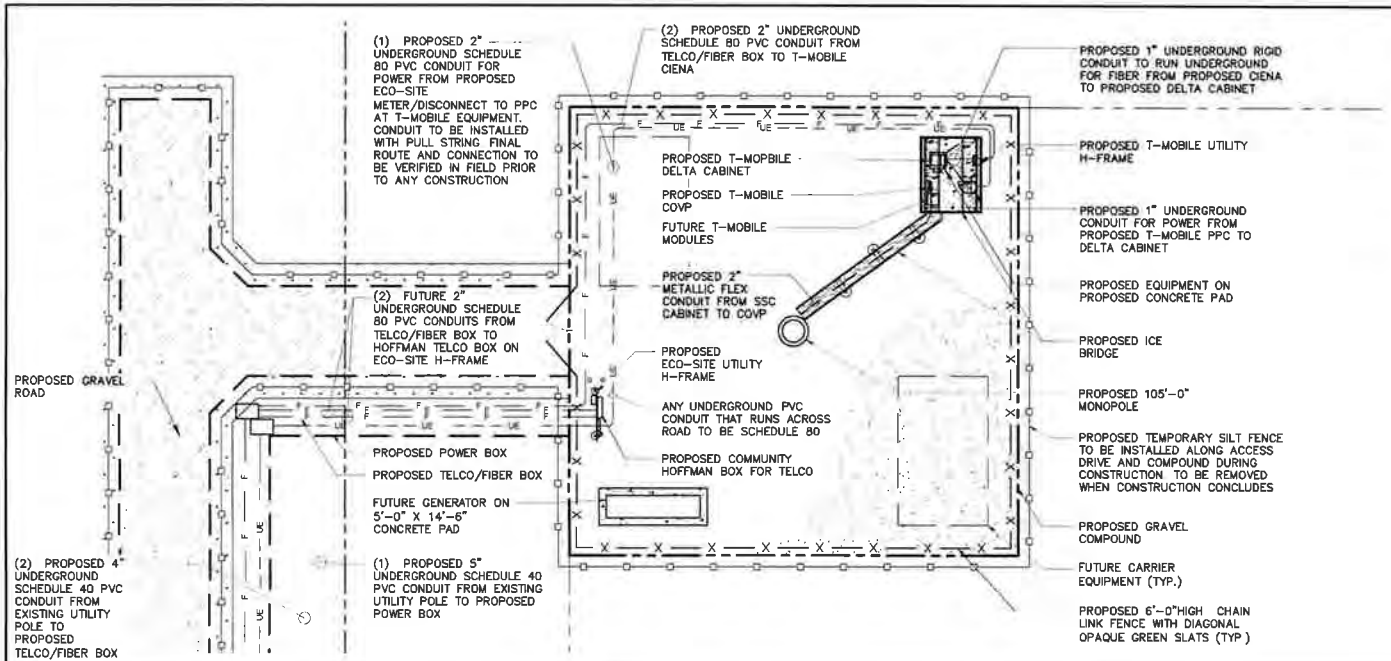
BEACH PARK
T-MOBILE ID #: CH76369D
ECO SITE ID #: IL-0019
12849 W FORD STREET
BEACH PARK, IL 60087

SHEET TITLE

FENCE DETAILS

SHEET NUMBER

A-6



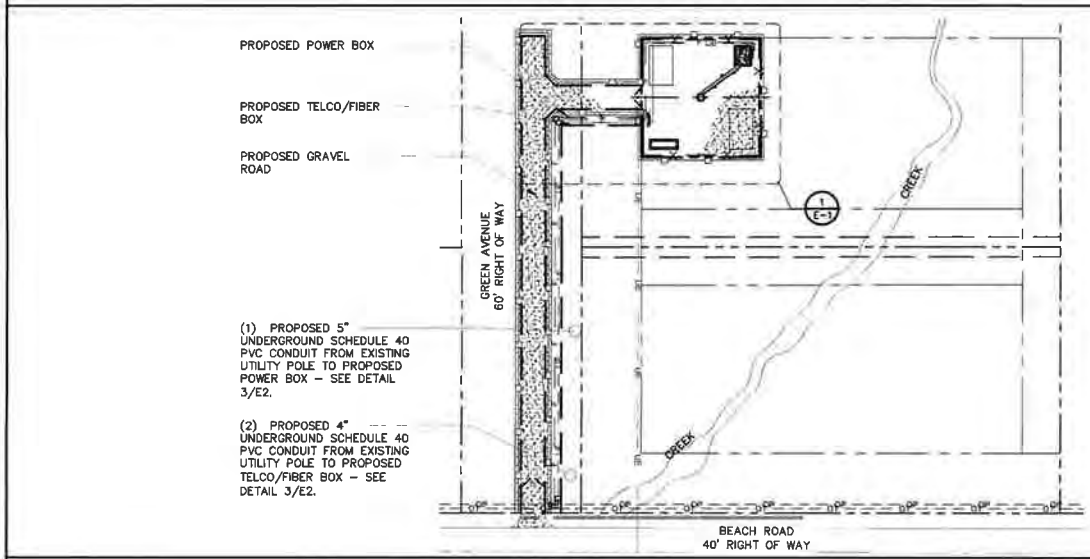
NOTE:
ALL UNISTRUT, FASTENERS, HARDWARE, ETC. ARE TO BE EITHER HOT-DIPPED GALVANIZED OR STAINLESS STEEL. GENERAL CONTRACTOR IS NOT TO USE ZINC-PLATED OR PRE-GALVANIZED.

LEGEND:

FIBER LINE	—— F —— F ——
ELECTRIC LINE	—— E ——

ENLARGED UTILITY PLAN 1

SCALE: 1/16" = 1'-0"



VOLTAGE DROP FROM TRANSFORMER TO H-FRAME			
LENGTH OF RUN	WIRE SIZE	VOLTAGE DROP (VOLTS)	PERCENTAGE OF VOLTAGE
±300'-0"	3/0	3.22V	1.34%

NOTE:
ALL UNISTRUT, FASTENERS, HARDWARE, ETC. ARE TO BE EITHER HOT-DIPPED GALVANIZED OR STAINLESS STEEL. GENERAL CONTRACTOR IS NOT TO USE ZINC-PLATED OR PRE-GALVANIZED.

OVERALL UTILITY PLAN 2

SCALE: 1" = 60'

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LICENSED ARCHITECT
NESTOR CHOWAYCH
001-037-[illegible]
STATE OF ILLINOIS

SUBMITTALS

#	DATE	DESCRIPTION	BY
B	03/16/15	FOR REVIEW	GD
C	04/20/15	FOR REVIEW	GD
D	04/22/15	FOR REVIEW	GD
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3	08/19/15	FOR REVIEW	GD

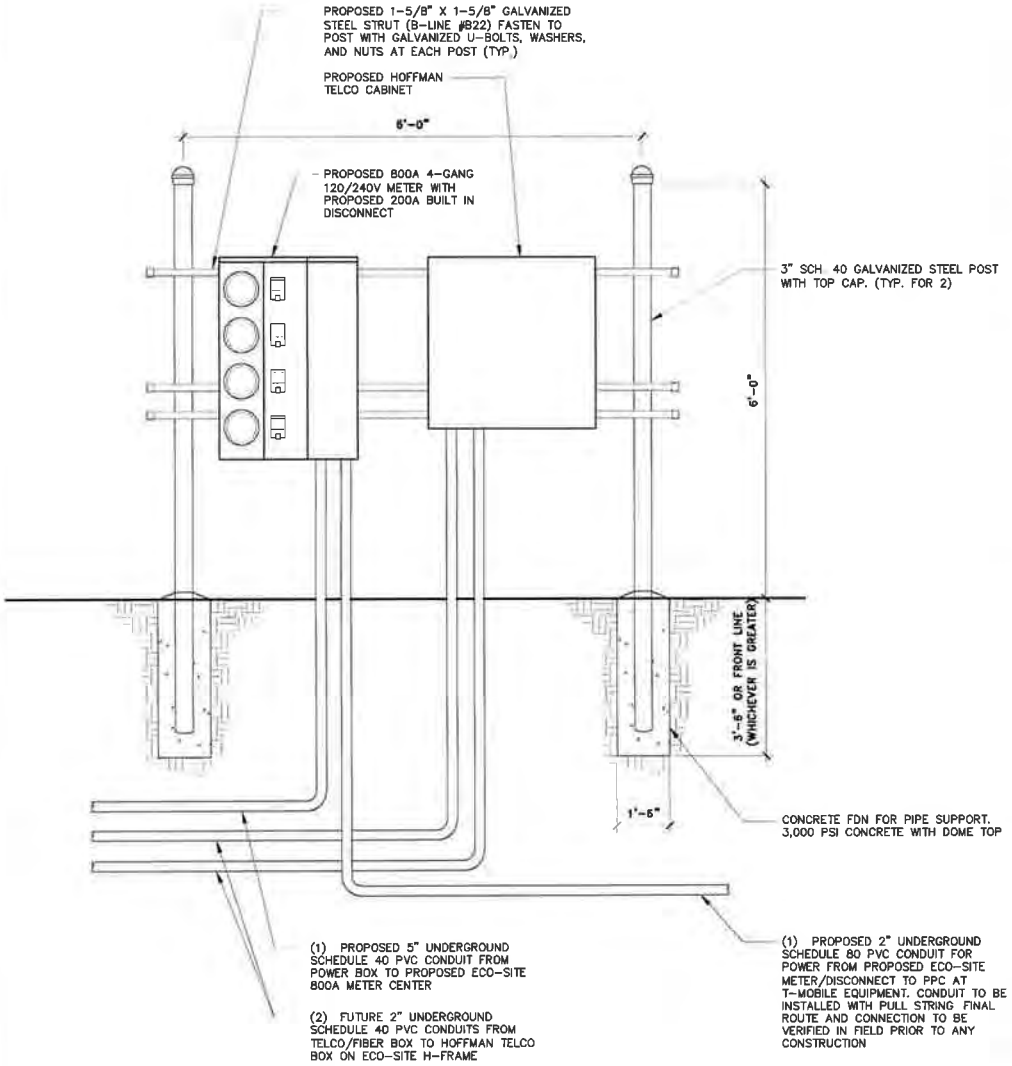
BEACH PARK
T-MOBILE ID #: CH76369D
ECO SITE ID #: IL-0019
12849 W. FORD STREET
BEACH PARK, IL 60087

SHEET TITLE

UTILITY PLANS

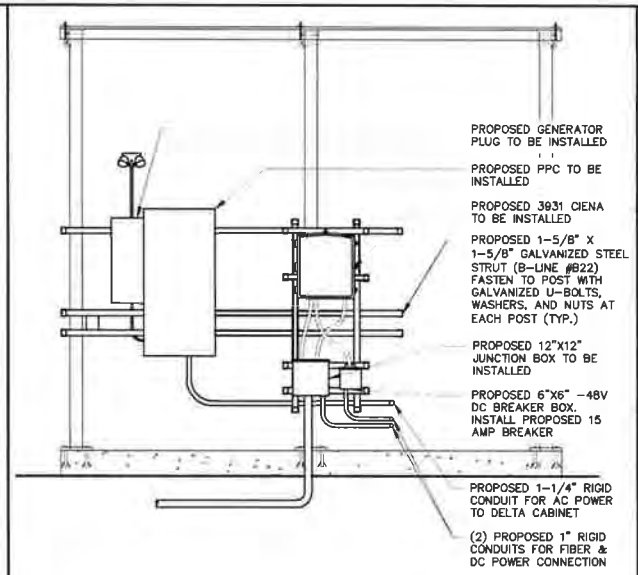
SHEET NUMBER

E-1



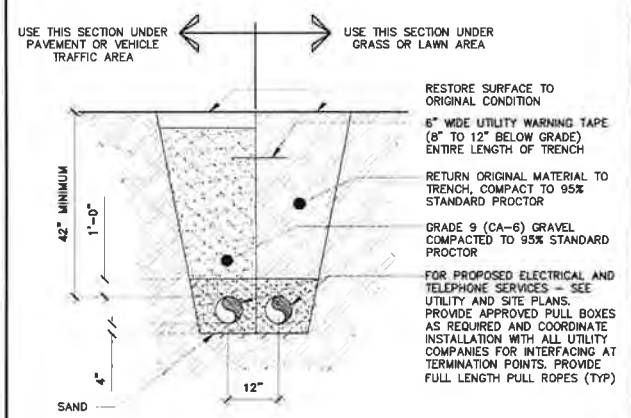
ECO-SITE H-FRAME DETAIL 1

SCALE: N.T.S.



T-MOBILE H-FRAME DETAIL 2

SCALE: N.T.S.



BURIED CONDUIT DETAIL 3

SCALE: N.T.S.

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LICENSED ARCHITECT
NESTOR DROWOTCH
001-007138

SUBMITTALS

#	DATE	DESCRIPTION	BY
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F	07/13/15	FOR REVIEW	DB
G	07/23/15	FOR REVIEW	DB
H	08/19/15	FOR REVIEW	GD

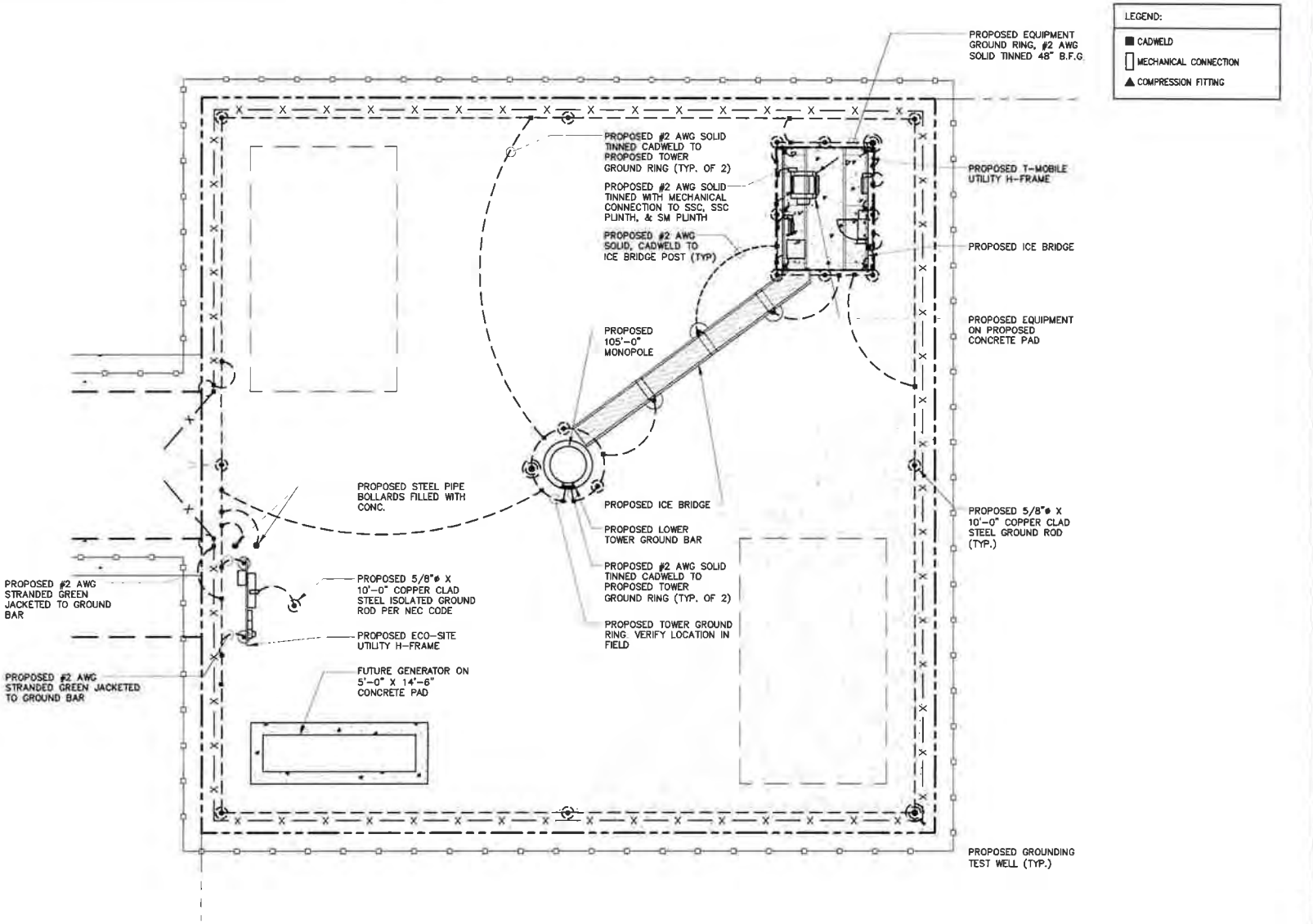
BEACH PARK
T-MOBILE ID #: CH78369D
ECO SITE ID #: IL-0019
12849 W. FORD STREET
BEACH PARK, IL 60087

SHEET TITLE

H-FRAME & UTILITY DETAILS

SHEET NUMBER

E-2



GROUNDING PLAN

SCALE: 1/8" = 1'-0"

1

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SUBMITTALS

#	DATE	DESCRIPTION	BY
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1	07/13/15	FOR REVIEW	DS
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BEACH PARK
T-MOBILE ID #: CH76369D
ECO SITE ID #: IL-0019
12849 W. FORD STREET
BEACH PARK, IL 60087

SHEET TITLE

GROUNDING PLAN

SHEET NUMBER

E-4

LEGEND

- NEW SAW CUT
- NEW BUTT JOINT
- EXISTING OVERHEAD POWER
- EXISTING OVERHEAD TELEPHONE
- EXISTING WETLANDS
- EXISTING GUARD RAIL
- EXISTING GUARD RAIL TO BE REMOVED
- EXISTING STORM SEWER
- EXISTING BOX CULVERT
- EXISTING UTILITY POLE
- EXISTING MANHOLE

HATCH LEGEND

- 2 FT BUTT JOINT (SEE DETAIL ON SHEET C-5.0)

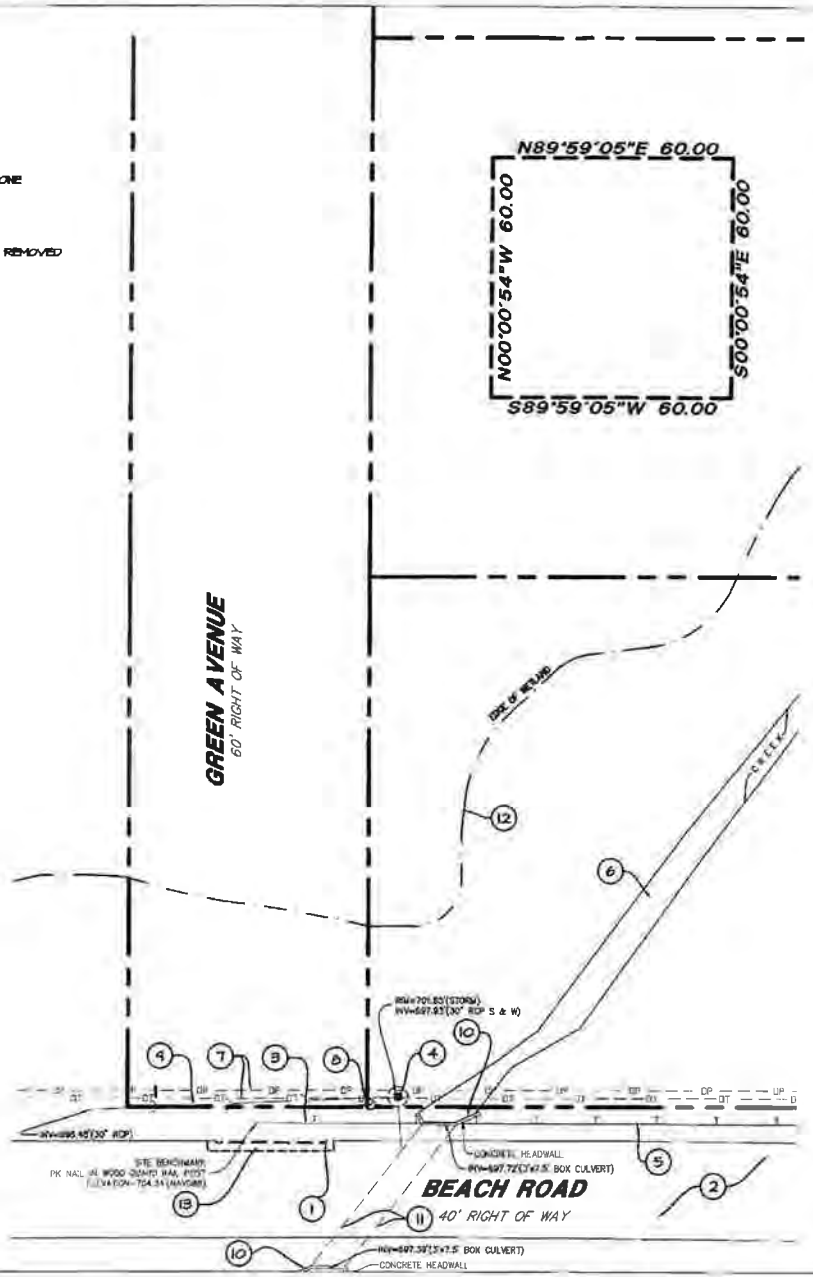
CALL JULIE TOLL FREE 1(800)892-0123 OPERATES 24 HOURS A DAY 365 DAYS A YEAR

WARNING

CALL BEFORE YOU DIG

CALL 1(800)892-0123 48 HOURS BEFORE YOU DIG

CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.



SITE DEMOLITION NOTES:

A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER "WIRELESS SITE MAP" LAST DATED 04-10-2015, PREPARED BY LAND SURVEYING SERVICE, INC AND ADDITIONAL TOPOGRAPHY PROVIDED BY W-T LAND SURVEYING, IN A DRAWING DATED 04-01-15. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
B. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
C. CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.
D. CONTRACTOR SHALL CONTACT JULIE (1-800-892-0123) OR DIAL 811 TO LOCATE ALL UNDERGROUND UTILITY LINES 48 HOURS PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
E. CONTRACTOR SHALL COORDINATE ANY SHUT DOWNS OF EXISTING ROADWAYS AND UTILITIES WITH THE NECESSARY GOVERNING AUTHORITIES.
F. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
G. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. ON THE PROPERTY RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
H. EXISTING ASPHALT PAVEMENT NOTED TO BE REMOVED SHALL BE DEMOLISHED, REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR.
I. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
J. CONTRACTOR SHALL RE-SPREAD A MINIMUM OF 6" TOPSOIL AND SEED TO ALL DISTURBED GRASS AREAS UPON COMPLETION OF THE SITE IMPROVEMENTS.
K. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
L. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
M. ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION NOTED TO BE REMOVED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR.
N. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDINGS, PAVEMENTS, OR HAULS OR WITHIN 24" THEREOF SHALL BE FILLED WITH CLEAN LOW VOID SELECT MATERIAL, CONSISTING OF STONE, GRAVEL, OR SAND COMPACTED TO 95% OF STANDARD PROCTOR DENSITY.
O. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL PROCEDURES PRIOR TO DEMOLITION. MODIFICATION OF DUST CONTROL PROCEDURES SHALL BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY. CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS OR COSTS ASSOCIATED WITH DUST CONTROL.
P. COORDINATE ALL OFF-SITE WORK WITH PROPERTY OWNER.
Q. APPROXIMATE LOCATION OF EXISTING WETLANDS FROM EXHIBIT PREPARED BY TRILEAF CONSULTANTS PROVIDED TO W-T CIVIL ENGINEERING, LLC, ON 04-01-2015.

PROJECT NOTES:

1. NEW FULL DEPTH SAWCUT OF EXISTING PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK AND STRAIGHT EDGE.
2. EXISTING ASPHALT PAVEMENT TO REMAIN.
3. EXISTING GUARD RAIL TO BE REMOVED.
4. EXISTING STORM STRUCTURE TO REMAIN.
5. EXISTING GUARD RAIL TO REMAIN.
6. EXISTING CREEK TO REMAIN.
7. EXISTING OVERHEAD WIRE TO REMAIN.
8. EXISTING UTILITY POLE TO REMAIN.
9. EXISTING STORM SEWER TO REMAIN.
10. EXISTING HEADWALL TO REMAIN.
11. EXISTING BOX CULVERT TO REMAIN.
12. APPROXIMATE LIMITS OF EXISTING WETLANDS. SEE SITE DEMOLITION NOTE Q.
13. NEW 2 FOOT BUTT JOINT. (SEE DETAIL ON SHEET C-5.0).

TODD O. ABRAMS
062-061600
LICENSED PROFESSIONAL ENGINEER
STATE OF ILLINOIS
Exp 11-30-15

NORTH

1" = 30'

W-T JOB NUMBER-CE15084

W-T CIVIL ENGINEERING, LLC.
CIVIL AND STRUCTURAL ENGINEERS
2875 Pratum Avenue
Hoffman Estates, Illinois 60192
PH (224) 293-6333 FAX (224) 293-6444
www.wtengineering.com
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T-T A VIOLATION OF LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER THIS DOCUMENT.

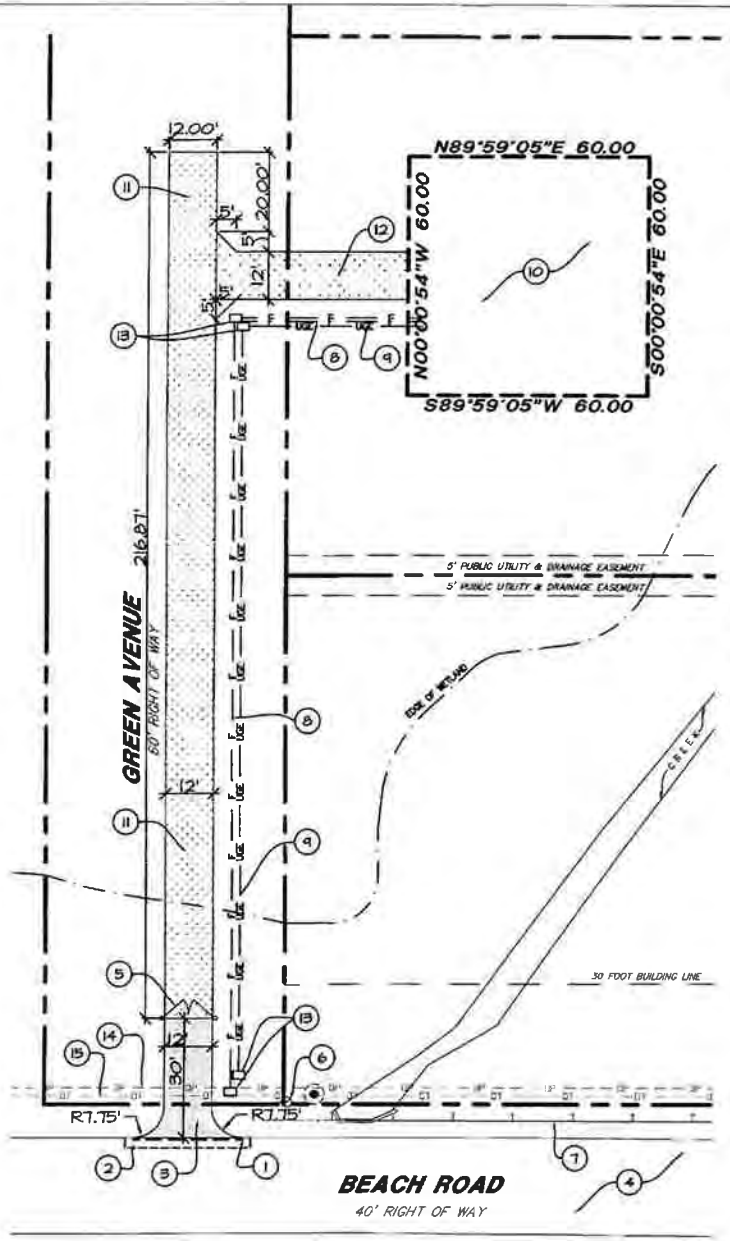
SUBMITTALS

#	DATE	DESCRIPTION	BY

BEACH PARK
T-MOBILE ID #: CH76369D
ECO SITE ID #: IL-0019
12849 W. FORD STREET
BEACH PARK, IL 60087

SHEET TITLE
SITE DEMOLITION PLAN

SHEET NUMBER
C-1.0



SITE GEOMETRIC AND DEVELOPMENT NOTES:

A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER "WIRELESS SITE MAP" LAST DATED 04-10-2015, PREPARED BY LAND SURVEYING SERVICE, INC AND ADDITIONAL TOPOGRAPHY PROVIDED BY W-T LAND SURVEYING, IN A DRAWING DATED 04-01-15. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
B. CONTRACTOR SHALL CONTACT J.U.L.I.E. (811 OR 1-800-892-0123) AND/OR PRIVATE UTILITY LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO STARTING CONSTRUCTION AND/OR EXCAVATION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
C. ALL DIMENSIONS SHOWN ARE MEASURED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
D. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
E. CONTRACTOR SHALL COORDINATE ALL SITE IMPROVEMENTS WITH ARCHITECTURAL PLANS.
F. CONTRACTOR SHALL COORDINATE ALL LANDSCAPING IMPROVEMENTS WITH ARCHITECTURAL PLANS.

PROJECT NOTES:

1. NEW FULL DEPTH SAW CUT TO PROVIDE CLEAN CONSTRUCTION BREAK.
2. NEW 2' WIDE BUTT JOINT. (SEE SHEET C-5.0 FOR DETAIL).
3. NEW FULL DEPTH STANDARD DUTY ASPHALT PAVEMENT. (SEE SHEET C-5.0 FOR DETAIL).
4. EXISTING ASPHALT PAVEMENT TO REMAIN.
5. NEW GATE SYSTEM. (SEE ARCHITECTURAL PLANS FOR DETAILS).
6. EXISTING UTILITY POLE TO REMAIN.
7. EXISTING GUARDRAIL TO REMAIN.
8. NEW FIBER OPTIC LINE. (REFER TO ARCHITECTURAL PLANS FOR DETAILS).
9. NEW ELECTRICAL LINE. (REFER TO ARCHITECTURAL PLANS FOR DETAILS).
10. PROPOSED LEASE SITE. (REFER TO ARCHITECTURAL PLANS FOR DETAILS).
11. NEW GRAVEL PAVEMENT ACCESS DRIVE (SEE SHEET C-5.0 FOR DETAIL).
12. NEW COMPOUND DRIVEWAY (REFER TO ARCHITECTURAL PLANS FOR DETAIL).
13. NEW UTILITY EQUIPMENT. (REFER TO ARCHITECTURAL PLANS FOR DETAILS).
14. EXISTING OVERHEAD ELECTRIC TO REMAIN.
15. EXISTING OVERHEAD TELEPHONE TO REMAIN.

HATCH LEGEND

STANDARD DUTY ASPHALT
(SEE DETAIL ON SHEET C-5.0)
1-1/2" HMA SURFACE COURSE (MIX "C", N50)
2-1/4" HMA BINDER COURSE (IL-19.0, N50)
8" CA-6 BASE COURSE

2 FOOT BUTT JOINT
(SEE DETAIL ON SHEET C-5.0)

NEW 8" GRAVEL PAVEMENT
(SEE DETAIL ON SHEET C-5.0)
8" CA-6

NEW COMPOUND DRIVE WAY
(SEE ARCHITECTURAL PLANS FOR DETAIL)

NORTH

1" = 30'

W-T JOB NUMBER-CE15084

W-T CIVIL ENGINEERING, LLC.
CIVIL AND STRUCTURAL ENGINEERS
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Hoffman Estates, Illinois 60192
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SUBMITTALS			
#	DATE	DESCRIPTION	BY

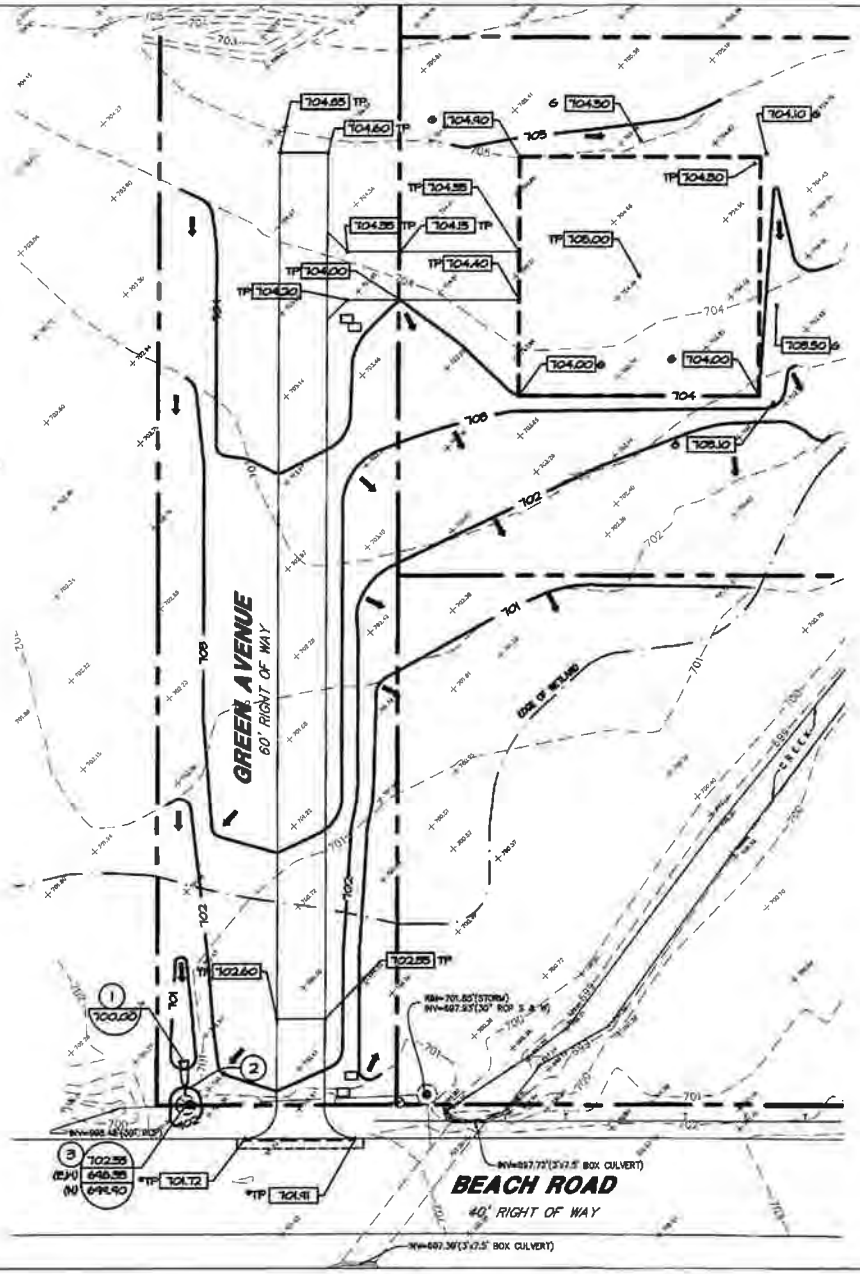
BEACH PARK
T-MOBILE ID #: CH76369D
ECO SITE ID #: IL-0019
12849 W. FORD STREET
BEACH PARK, IL 60087

SHEET TITLE
SITE GEOMETRIC AND DEVELOPMENT PLAN

SHEET NUMBER
C-2.0

GRADING AND UTILITY LEGEND

- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- INTERPOLATED SPOT GRADE
- PROPOSED RIM ELEVATION
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED RIDGE LINE
- OVERLAND FLOW ARROW
- TP — TOP OF PAVEMENT ELEVATION
- FINISHED GRADE ELEVATION
- MATCH EXISTING ELEVATION
- PROPOSED FLARED END SECTION
- PROPOSED MANHOLE
- EXISTING UTILITY POLE
- EXISTING MANHOLE
- EXISTING GUARD RAIL
- PURPOSED STORM SEWER
- EXISTING STORM SEWER
- EXISTING BOX CULVERT



SITE GRADING AND UTILITY NOTES:

A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER WIRELESS SITE MAP LAST DATED 04-10-2015, PREPARED BY LAND SURVEYING SERVICE, INC. AND ADDITIONAL TOPOGRAPHY PROVIDED BY W-T LAND SURVEYING, IN A DRAWING DATED 04-04-15. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
B. ALL PROPOSED GRADES ARE GIVEN TO TOP OF PROPOSED ASPHALT, CONCRETE, OR TOP OF PROPOSED CURB. SEE DETAILS FOR PAVEMENT THICKNESS.
C. CONTRACTOR SHALL CONTACT J.U.L.I.E. (811 OR 1-800-892-0123) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
D. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
E. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
F. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
G. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
H. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDINGS, PAVEMENTS, OR WALKS OR WITHIN 24" THEREOF SHALL BE FILLED WITH CLEAN LOW VOID SELECT MATERIAL CONSISTING OF STONE, GRAVEL OR SAND COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY.
I. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
J. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
K. REFER TO ARCHITECTURAL PLANS FOR LANDSCAPE PLANTINGS.

STORM SEWER:

1. NEW 12" RCP FLARED END SECTION. SEE CONSTRUCTION DETAILS.
2. NEW 12" RCP PIPE, 10 L.F. @ 10% SLOPE.
3. NEW 48" PRECAST CONCRETE MANHOLE. CONSTRUCT OVER EXISTING 60" STORM SEWER.

NORTH

1" = 30'

W-T JOB NUMBER-CE15084

W-T CIVIL ENGINEERING, LLC.
CIVIL AND STRUCTURAL ENGINEERS
2675 Prairie Avenue
Hoffman Estates Illinois 60192
PH (224) 293-6333 FAX: (224) 293-6444
www.wtengineering.com
IL License No.: 184-003452 Exp 04/30/17

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Eco-Site
Urban Innovation Wireless
240 LEIGH FARM ROAD
SUITE 415
DURHAM, NC 27707
ECO-SITE.COM

T-Mobile
2001 BUTTERFIELD
DOWNERS GROVE, IL 60515
T-MOBILE.COM

A&E
SBC WIRELESS ENGINEERING GROUP
1501 E. WOODFIELD RD.
SUITE #200E
SCHAUMBURG, IL 60173
www.sbcw.com
847.944.1600

SUBMITTALS

#	DATE	DESCRIPTION	BY

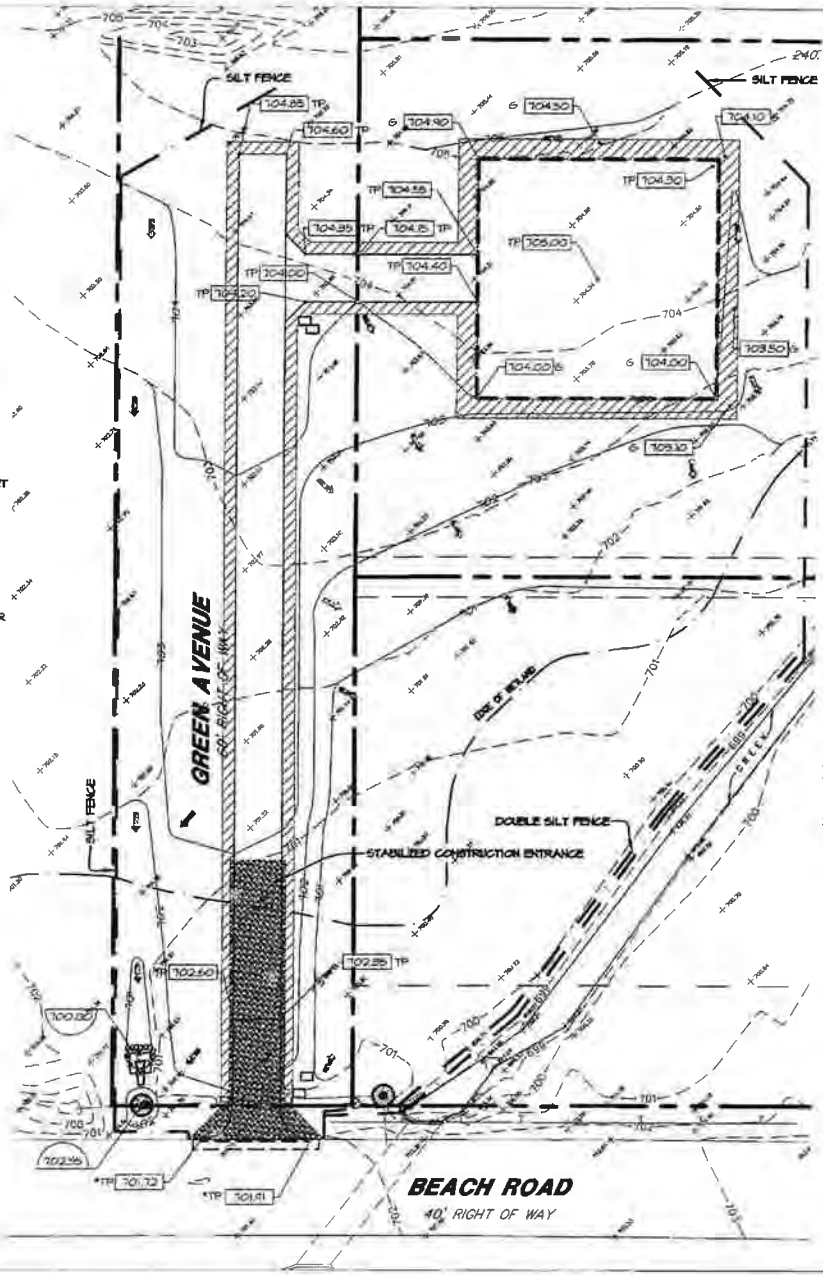
BEACH PARK
T-MOBILE ID #: CH76389D
ECO SITE ID #: IL-0019
12649 W. FORD STREET
BEACH PARK, IL 60087

SHEET TITLE
SITE GRADING AND UTILITY PLAN

SHEET NUMBER
C-3.0

SWPPP LEGEND

- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- INTERPOLATED SPOT GRADE
- PROPOSED RIM ELEVATION
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED RIDGE LINE
- OVERLAND FLOW ARROW
- TP — TOP OF PAVEMENT ELEVATION
- G — FINISHED GRADE ELEVATION
- MATCH EXISTING ELEVATION
- SILT FENCE
- S-75 EROSION CONTROL BLANKET
- STABILIZED CONSTRUCTION ENTRANCE
- FLEXSTORM INLET PROTECTION
- SILT FENCE WITH STONE COLLAR
- REFER TO LANDSCAPE PLAN FOR PLANTINGS IN THIS AREA



SOIL EROSION CONTROL NOTES

1. ALL CONTROL MEASURES NECESSARY TO MEET THE REQUIREMENTS OF THIS ORDINANCE OR THE HAVER COMMUNITY ORDINANCE SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SEDIMENT AND EROSION CONTROL MEASURES ARE OPERATIONAL.
2. IF AFTER REPEATED FAILURE ON THE PART OF THE CONTRACTOR TO PROPERLY CONTROL EROSION, POLLUTION, AND/OR SILTATION, THE CITY RESERVES THE RIGHT TO EFFECT NECESSARY CORRECTIVE MEASURES AND CHARGE ANY COSTS TO THE CONTRACTOR.
3. INLET PROTECTION SHALL BE INSTALLED AROUND EACH INLET OR CATCH BASIN. THESE SHALL BE MAINTAINED UNTIL DRAINAGE AREA TRIBUTARY HAS GROWING GRASS OR GROUNDCOVER.
4. STREETS ADJACENT TO THE SITE SHALL BE KEPT FREE OF DIRT, MUD AND DEBRIS.
5. MINIMIZE BARE EARTH SURFACES DURING CONSTRUCTION.
6. ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED AS SOON AS IS PRACTICABLE.
7. WHENEVER DURING CONSTRUCTION OPERATIONS ANY LOOSE MATERIALS ARE DEPOSITED IN THE FLOW LINE OF GUTTERS, DRAINAGE STRUCTURES, OR DITCHES SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THIS LOOSE MATERIAL SHALL BE REMOVED.
8. ALL SEDIMENT WILL BE PREVENTED FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEMS BY THE USE OF INLET PROTECTION OR OTHER APPROVED FUNCTIONAL METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM THIS PROJECT FROM STORM SEWERS AND DRAINAGE STRUCTURES.
9. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. AT THE END OF EACH DAY THE CONTRACTOR SHALL CLEAN UP ALL MUD OR SOIL WHICH HAS BEEN TRACKED ONTO PUBLIC STREETS OR AS REQUIRED BY CITY OFFICIALS.
10. THE GOVERNING MUNICIPALITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
11. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE REGULATORY AGENCIES.
12. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED OR OTHERWISE DISCHARGED FROM THE SITE INTO SEDIMENT BASINS, SILT TRAPS, DEWATERING BAGS OR POLYMER MIXING SPALLS. DEWATERING DIRECTLY INTO FIELD TILES OR STORMWATER SYSTEMS IS PROHIBITED.
13. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL.
14. COPIES OF THE APPROVED SOIL EROSION CONTROL PLAN AND STORM WATER POLLUTION PREVENTION PLANS SHALL BE MAINTAINED ON THE SITE AT ALL TIMES, ALONG WITH THE PERMIT, I.D.N. FORM & INSPECTION FORMS.
15. DISTURBED AREAS SHOULD BE SEEDED OR SODDED WITHIN 3 DAYS OF FINAL DISTURBANCE.
16. THE GOVERNING MUNICIPALITY CAN ALSO DIRECT THE DEVELOPER AS TO WHEN THE ROADWAYS SHOULD BE CLEANED OF DEBRIS.
17. THE STOCKPILES SHOULD BE STABILIZED WITHIN 3 DAYS OF FORMING THE STOCKPILE.
18. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED AS FOLLOWS:
    - 18.1. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES ON A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
    - 18.2. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (E.G. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES.
19. ILLINOIS PRE-QUALIFIED PERSONNEL (PROVIDED BY THE CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OR EQUIVALENT SNOWFALL. REQUIRED REPAIRS SHOULD BE COMPLETED WITHIN 48 HOURS OF THE INSPECTION.
20. EROSION CONTROL BLANKETS SHALL BE USED IN AREAS OF 6:1 SLOPE OR STEEPER.
21. ALL TEMPORARY EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE PROPERLY STABILIZED OR DISPOSED.
22. PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO, ADDITION PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED TO THE OWNER FOR REVIEW BY VILLAGE OR CITY ENGINEER.

NORTH

1" = 30'

W-T JOB NUMBER-CE15084

W-T CIVIL ENGINEERING, LLC.
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SUITE 415
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ECO-SITE.COM

T-Mobile
2001 BUTTERFIELD
DOWNERS GROVE, IL 60515
T-MOBILE.COM

A&E
SAC WIRELESS ENGINEERING GROUP
1501 E. WOODFIELD RD
SUITE 400E
SCHAUMBURG, IL 60173
www.sacw.com
847.944.1800

SUBMITTALS

#	DATE	DESCRIPTION	BY

BEACH PARK
T-MOBILE ID #: CH76389D
ECO SITE ID #: IL-0019
12849 W. FORD STREET
BEACH PARK, IL 60087

SHEET TITLE
STORM WATER POLLUTION PREVENTION PLAN

SHEET NUMBER
C-4.0

Appendix 7.4
Permits and Documentation

Building Permit

DEPARTMENT OF BUILDING AND ZONING
VILLAGE OF BEACH PARK
11270 WEST WADSWORTH ROAD, BEACH PARK, IL 60099

FOR OFFICE USE ONLY
Township _____
Sec. ____ T ____ R ____
Permit No. PB 150537
Date _____
Zoning _____

NOTE: No permit will be issued until this application **has been completely filled in and submitted to the DEPARTMENT** together with **two sets** of plans. PLEASE TYPE with dark ribbon or use ball point pen to permit duplication.

Fill in those sections below that apply to your project requirements. Leave others blank.

☐ FLOOD PLAIN ☐ PARTIAL ☐ NONE

STATE OF ILLINOIS } SS
COUNTY OF LAKE

PIN # **04-31-130-001 & 004** HEALTH DEPT. ISD _____

Eco-Site - Tower Owner, in making application for a permit for the Department
(Applicant's Name)
of Building and Zoning, the following information is provided:

Owner, Name **Village of Beach Park** (Do Not Omit)
Property Address **12849 W. Ford Street**
City **Beach Park** Zip **60087**
Home Phone _____ Work Phone **919-883-5023 Eco-Site**

Application is hereby made for permission to erect, construct, alter or install structures or facilities as checked or described below:

BUILDING:
☐ Single Family Dwelling Site Built — Area ____ Sq. Ft. Stories ____
☐ Single Family Dwelling Modular or Sectional — ☐ With Mechanics ☐ Without Mechanics — Area ____ Sq. Ft. Stories ____
☐ Multiple Family Dwelling Site Built — Area ____ Sq. Ft. Stories ____
☐ Multiple Family Dwelling Modular or Sectional — ☐ With Mechanics ☐ Without Mechanics — Area ____ Sq. Ft. Stories ____

☐ Commercial Building — Ground Floor Area ____ Sq. Ft. Stories ____
☐ Public Building — Ground Floor Area ____ Sq. Ft. Stories ____
☐ Industrial Building — Ground Floor Area ____ Sq. Ft. Stories ____
☐ Institutional Building — Ground Floor Area ____ Sq. Ft. Stories ____
☐ Farm Building ☐ Pole Barn ☐ Storage — Ground Floor Area ____ Sq. Ft.

ACCESSORY BUILDING: ☐ Attached Garage Floor Area ____ Sq. Ft. ☐ Detached Garage Floor Area ____ Sq. Ft. ☐ Patio With Foundation Floor Area ____ Sq. Ft. ☐ Porch or Deck Floor Area ____ Sq. Ft.

INCIDENTAL BUILDING: ☐ Breezeway Floor Area ____ Sq. Ft. ☐ Storage Building Floor Area ____ Sq. Ft. Other (specify) **Wireless Telecom Facility** Floor Area ____ Sq. Ft.

REMODELING: ☐ Alteration ☐ Addition (Area ____ Sq. Ft.) Volume ____ Cu. Ft. ☐ Moving ☐ Raising ☐ Shoring ☐ Under-pinning ☐ Repair ☐ Roofing ☐ Siding ☐ Foundation ☐ Demolishing

PLUMBING: ☐ Base Min. ☐ ____ Fixtures
WATER HEATER: ☐ Domestic water heater
ELECTRICAL: ☐ Sprinkler
ELECTRICAL WORK: ☐ Residence ____ Living Unit(s) ☐ Commercial ____ Sq. Ft.
HEATING: ____ (State Type) ☐ Residence ____ Living Unit(s) ☐ Commercial ____ Sq. Ft.
HEATING:
AIR CONDITION
MOBILE HOME SITE: ☐ Air Condition Floor Area ____ Sq. Ft. ☐ Mobile Home or R.V. Site Number of Pads ____

WATER SUPPLY: ☐ Well ____" dia. ☐ Repair ☐ Connection to Existing Public Main or Well ☐ Private and/or Community Well ☐ Supply system for other than residential use

SEWAGE DISPOSAL: ☐ Connection to existing sewer ☐ Septic ☐ Number of Bedrooms ____ ☐ Repair ☐ Privy

MISCELLANEOUS STRUCTURES:

SWIMMING POOL: ☐ Private above ground ☐ Private partially or totally submerged ☐ Commercial Size ____

TEMPORARY PERMIT: ☐ Sales Office ☐ Tool Shed ☐ House trailer or mobile home ☐ Emergency Circumstances ☐ Other ____ Specify reason ____ Specify reason ____

SPECIAL INSPECTION: ☐ Building to be moved ☐ Fire damaged building ☐ Change in use ☐ Dilapidated structures ☐ Other (specify) ____

CERTIFICATE OF OCCUPANCY: ☐ Certificate of occupancy ☒ Conditional Use Permit ☐ Other (specify) ____

EXAM. OF PLAN: ☒ Examine plans ☐ A.G. Exemption Total value of project $ **$150,000.00**

Describe briefly: **Proposed Wireless Telecommunication Facility to include 105' multi-carrier monopole tower, ground equipment in fenced compound & gated access road.**

In consideration of this application, information sheet, and other attached forms being made a part hereof, and issuance of permits, I/we will conform to the regulations set forth in the Beach Park Building and Zoning Ordinances and other applicable ordinances. I/We also agree that all work performed under said permit will be in accordance with the plans and plot diagram which accompany this application, except for such changes as may be authorized by the Building Officer, and that I/we will use the building only for (indicate specific use) **Wireless Telecommunication Facility** use.
I/We further state that I/we make this application to induce the Department of Building and Zoning of Beach Park, Illinois to issue its official permit for the uses stated herein, and I/we further state that I/we have provided the Department of Building and Zoning with all the pertinent information relating to the structure and/or county ordinances pertaining thereto.

Tony Phillips-SAC
Signature of Owner or Authorized Agent

540 W. Madison-16th Floor-Chicago, IL 60661
Address

ISSUED BY _____
Village of Beach Park

VILLAGE OF BEACH PARK

Permit # PB150537 **BUILDING PERMIT** **Date Issued 11/24/2015**

Location of work to be performed:

12849 FORD ST

Lot #

Subdivision

Parcel # 04-31-130-001

Applicant:

ECO-SITE
240 LEIGH FRM ROAD SUITE 415
DURHAM NC 27707

Owner VILLAGE OF BEACH PARK

Description of work to be performed:

THIS IS THE CONSTRUCTION OF A 105 MONOPOLE FOR USE AS A CELLULAR TOWER. ALL WORK ON AND IN THE PROPERTY SHALL COMPLY WITH ALL VILLAGE OF BEACH PARK CODES AND ORDINANCES INCLUDING BUT NOT LIMITED TO THE ZONING APPROVALS AND APPROVING ORDINACES, FAA APPROVALS, US ARMY CORP APPROVALS, LAKE COUNTY STORM WATER MANAGEMENT APPROVALS AND THE ACCESS AND PERMIT IS FOR THE TEMPORARY WHILE FINAL ARMY CORP PERMITTING IS COMPLETED AND APPROVED. FOLLOW ALL APPROVED TMEP PLANS AS APPROVED BY OUR VILLAGE ENGINEER. THE ACTUAL ADDRESS WILL BE THE FORD STREET ADDRESS AND A BEACH ROAD ADDRESS WILL BE ASSIGNED BY DECEMBER 1, 2015. ALL WORK REGARDING THE SHELTER BUILDING, GENERATOR, FENCED AND LANDSCAPED ENCLOSURE, ROADWAY ETC... SHALL COMPLYW ITH ALL CODES AND ORDINANCES AND PLANS THAT HAVE BEEN APPROVED.

1. ALL WORK AND REQUIREMENTS SHALL COMPLY WITH ALL VILLAGE OF BEACH PARK CODES AND ORDINANCES AND THE SITE AND LEASE AGREEMENTS BY AND BETWEEN THE VILLAGE OF BEACH PARK AND ANY AND ALL CARRIERS.
2. ANY DAMAGE TO ANY VILLAGE OR PUBLIC PROPERTY SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR. THE REPAIRS SHALL BE TO ANY AND ALL VILLAGE SPECIFICATIONS AND SHALL BE APPROVED BY THE VILLAGE.
3. YOU SHALL COMPLY WITH ALL PROVISIONS OF THE VILLAGE OF BEACH PARK RIGHT OF WAY ORDINANCE AS WELL AS ANY TREE PRESERVATION ORDINANCE. THESE ORDINANCES ARE VERY COMPREHENSIVE AND SHOULD BE REVIEWED.
4. PROVIDE 6 FOOT CHAIN LINK FENCING TO ENCLOSE THE CONSTRUCTION SITE AND ACROSS THE ENTRANCE TO THE SITE.
5. THE VILLAGE SHALL BE NOTIFIED OF THE START DATE OF THE WORK
6. ALL CONTRACTORS SHALL BE INSURED FOR THE WORK THEY ARE PERFORMING. PROVIDE COPIES OF THEIR INSURANCES TO THE VILLAGE.
7. THERE SHALL BE A LETTER SUBMITTED FROM THE CELLULAR SERVICE PROVIDER INDICATING THAT THERE SHALL BE NO INTERFERENCE WITH ANY AND ALL VILLAGE OF BEACH PARK AND AREA MUNICIPAL AND PUBLIC SAFETY COMMUNICATIONS SYSTEMS, RADIO FREQUENCIES USED IN ANY AND ALL PUBLIC SAFETY AGENCIES IN AND AROUND THE VILLAGE OFBEACH PARK AND ANY AND ALL VILLAGE OF BEACH PARK OR SHERIFF'S OFFICE COMMUNICATION SYSTEMS AND RADIO FREQUENCIES. THE CELLULAR SERVICE PROVIDER MAY BE ASKED TO PROVIDE A FREQUENCY PROPAGATION AND INTERFERENCE STUDY SHOWING THAT THE AFOREMENTIONED SHALL NOT HAPPEN.
8. THE FACILITY SHALL COMPLY WITH SECTION 785.55 TECHNICAL REQUIREMENTS OF TITLE 83, CHAPTER I, SUBCHAPTER F, PART 785 OF THE STATE OF ILLINOIS ADMINISTRATIVE CODE. THIS WOULD INCLUDE BUT IS NOT LIMITED TO POWER AND COMMUNICATIONS SYSTEMS, DETECTION SYSTEMS, VENTILATION, SUPPRESSION AND INSPECTIONS. THERE ARE SEVERAL REQUIREMENTS WITHIN THESE SUB-SECTIONS.
9. ALL WORK ON THIS PROJECT SHALL TAKE PLACE FROM THE BEACH ROAD ACCESS.
10. CONTRACTOR PARKING SHALL BE ON SITE AND NOT ON BEACH ROAD.
11. PROVIDE A SPOT SURVEY OF THE INSTALLATIONS WHEN COMPELTED TO INSURE COMPLIANCE WITH ORDINANCES OR A SURVEYOR TO LAYOUT THE SITE PRIOR TO CONSTRUCTION TO INSURE COMPLIANCE.
12. COMPLY WITH ALL REQUIRED ENGINEERING AND STRUCTURAL REQUIREMENTS FOR THE MONOPOLE AND THE BASE INSTALLATION AND ANY COMMENTS FROM BELLI AND BELLI ENGINEERS AND ARCHITECTS LETTER OF SEPTEMBER 3, 2015. THERE SHALL BE NO DEVIATION FROM THE PLANS UNLESS THEY ARE SUBMITTED FOR REVIEW AND APPROVAL. THE LATEST PLAN SET APPROVAL FOR THE SITE AS APPROVED IN THE NOVEMBER 16, 2015 LETTER FROM RHMG ENGINEERS AND STAMPED PLANS-THIS IS THE TEMPORARY UNTIL THE ARMY CORP APPROVAL IS GRANTED.
13. PROVIDE COPIES OF SOIL BORING AND SOIL CAPACITY TEST DATA THAT YOU HAVE TAKEN FOR THIS SITE AND USED FOR THE ANALYSIS OF YOUR STRUCTURAL REQUIREMENTS. THE DATA SAMPLES SHALL BE FROM AT LEAST THE DEPTH LEVEL OF THE FOOTING.
14. THE TOWER AND ALL ANTENNA FEED LINES SHALL BE PROPERLY GROUNDED PER ALL APPLICABLE CODES AND STANDARDS INCLUDING BUT NOT LIMITED TO NFPA 70, 350 AND 780.
15. ANY DAMAGE TO ANY OF THE PUBLIC INFRASTRUCTURE AND OR EQUIPMENT AND FACILITIES SHALL BE REPAIRED TO VILLAGE STANDARDS BY THE CONTRACTOR
16. THE MONOPOLE SHALL BE PAINTED THE COLOR THAT WAS APPROVED IN THE ZONING VARIANCE ORDINANCE.
17. THERE IS INDICATION OF A GENERATOR INSIDE THE ENCLOSURE BUT NO DETAILS ON THIS UNIT WERE PROVIDED. PLEASE PROVIDE DETAILS OF THIS UNIT. IS THIS UNIT NATURAL GAS OR DIESEL POWERED?
23. PROVIDE WEEKLY WORK SCHEDULES OF THE PROJECT SO THE VILLAGE IS REGULARLY AWARE OF THE PROGRESS OF THE PROJECT.
24. ALL WORK FOR THIS PROJECT SHALL COMPLY WITH ALL VILLAGE OFBEACH PARK CODES AND ORDINANCES INCLUDING BUT NOT LIMITED TO THE 2006 INTERNATIONAL BUILDING CODE (INCLUDING SECTION 3108), 2008 NEC, NFPA 70, 72, 76, 77, 101, 853 AND 780, ALL ZONING, ARCHITECTURAL AND VILLAGE BOARD APPROVALS AND REQUIREMENTS AND THOSE OF THE VILLAGE ENGINEER FROM RHMG ENGINEERS INC.
28. PROVIDE COPIES OF YOUR REQUIRED CONFINED SPACE, HIGH ANGLE AND BELOW GROUND EMERGENCY PLANS DURING CONSTRUCTION AND ALSO REMOVALS.
29. ANY TEMPORARY POWER INSTALLATIONS, INCLUDING BACK UP POWER SOURCE, MUST BE APPROVED PRIOR TO INSTALLATION AND OR USE.
30. ALL OF THE COMMENTS ON THIS REVIEW AND THE SUBMITTED PLAN SETS, DOES NOT RELIEVE THE APPLICANT FORM ANY AND ALL ASSOCIATED REQUIREMENTS AND CODE COMPLIANCE.

The following inspections are required and must be approved prior to occupancy or use:

BUILDING OVERALL

Driveway Base

Driveway Final

Electric Service

Final Carpentry

Final Electrical

FIRE ALARM

FOOTINGS

PRE-CON SITE MEETING

Rough Electrical

Rough Framing

Rough Grading

Silt Fence

Slab Pre-Pour Shed

Wall Pre-Pour

I have received an approved set of plans and am aware of the inspections required.

11/24/15 11/25/2015

Building Officer Date Owner/Contractor Date

This permit is to be posted where visible from the street.

CALL J.U.L.I.E. (1-800-892-0123) PRIOR TO THE START OF ANY EXCAVATION.
CONSTRUCTION HOURS MONDAY THROUGH FRIDAY, 7:00AM TO 6:00PM and SATURDAY AND SUNDAY 8:00AM TO 5:00PM. CALL 847-246-6006 TO SCHEDULE ALL INSPECTIONS.

USACE Regional Permit 8

The USACE Regional Permit 8 has not yet been issued. A copy of the USACE Regional Permit 8 will be forwarded to the FCC when issued.

USACE Regional Permit 8 Application

Schumm Consulting LLC
220 A Thornhill Ct.
Lake Barrington, IL 60010
(847)975-8391

Kathleen Chernich
U. S. Army Corps of Engineers
Chicago District Regulatory Branch
231 South LaSalle St.
Chicago, IL 60604-1437

October 20, 2015

RE: LRC-2015-00778

Dear Ms. Chernich;

On behalf of the Village of Beach Park, Schumm Consulting is submitting this application for permits to conduct work in Beach Park, Lake County, Illinois to contruct a 154 foot monopole communications tower and associated equipment within a 60' x 60' equipment lease area at the property. The project includes a 12-foot wide proposed access and 8 foot wide utility easement that extends south connecting with West Beach Road. The current site hosts a fallow agricultural field.

On October 20, 2015, Schumm Consulting met with Julie Crane of Lake County SMC, and Mike Murphy of Army Corps of Engineers for a PJD and it was determined and recommended that the proposed work fall under the RP8, Category I, as only .01 acres of disturbance will occur on the site.

Please consider this our request and notification that this project be permitted under Regional Permit 8. The project will include the installation of a utility tower and pad, as well as a small access road. The site plan includes a small grade crossing over the wetland. All protection strategies will be implemented to avoid any additional wetland impacts.

Thank you for your Consideration.

Sincerely,

Nancy Schumm CWS #147

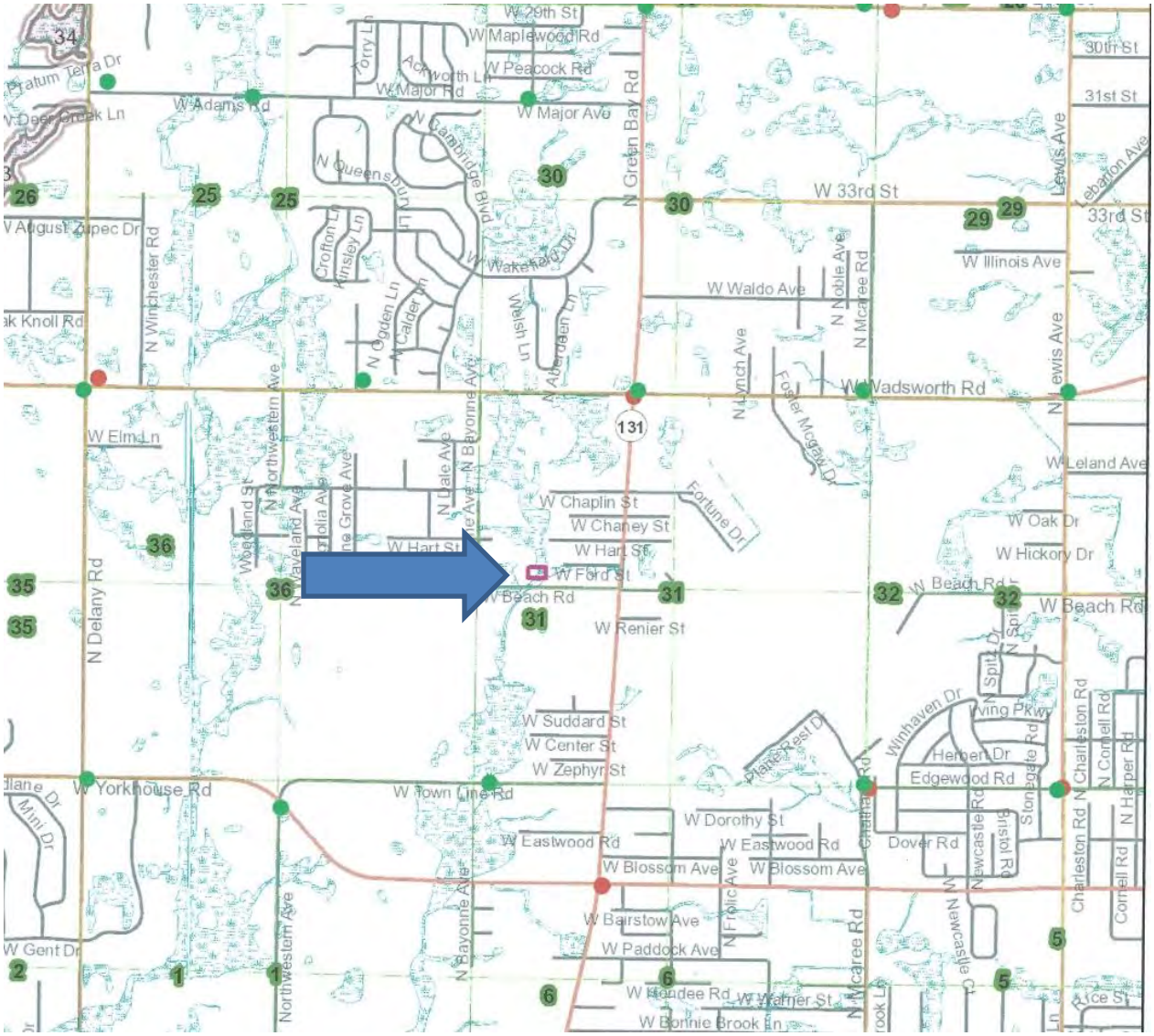
Table of Contents Notification of Proposed Activity

Notification of activity
- **Cover letter**
- **Project Street Map**
- **Latitude and Longitude**
- **SESC plans**
- **Watershed plan statement**
- **Minimization of impact**
- **No mitigation statement**

RP 8 statements a-u
RP7 temporary construction activities c-i

Additional Attachments:
- **Joint Application form**
- **Wetland delineation**
- **Project plans**
- **USFWS study and statement of no effect**
- **IDNR Eco-Cat**
- **IHPA letter of no impact**

Project Street Map



Latitude and Longitude: 42.42222 N, -87.88056 W

SESC plans: Please see attached plans page 4

Watershed plan statement: The site is in the Bulls Brook, Bull Creek watershed a subwatershed of the Des Plaines River, and will support the plan by implementing appropriate site protection during construction and the installation of native plantings around the pad to filter any run-off. The installation will follow the regulations of the Lake County SMC Watershed Development Ordinance for sediment and erosion control and low impact developments.

Minimization of impact to the site will be accomplished with sediment and erosion control measures, installation of a gravel driveway and planting of a native plant buffer around the exterior fencing of the pad.

No mitigation will be required as the impact to a wetland is less than ½ acres and only 0.01 acres.

RP 8 statements a-u

- **a.** This project falls under Category I because the impact to WOUS is only 0.01 acres and the wetland is not a high-quality aquatic resource.
- **b.** This will not be Category II as it is not over 0.5 acres of impact to WOUS.
- **c.** No mitigation is required with the impact to only 0.01 acres.
- **d.** There will be no discharge of dredged or fill materials into the Des Plaines River, which this watershed is a tributary to.
- **e.** There will be only minimal disturbance during construction activities and they will not impact any waterbody because soil erosion and sediment control measures will be implemented (please see page 4 of plans). No outfall installation will be needed.
- **f.** There is no conservation area adjacent to the site. The site is located in a residential area.
- **g.** No facilities will be installed in a river, perennial, intermittent or ephemeral stream or creek. There is a pipe that will be installed in a ditch under the access road.
- **h.** Any runoff from the site will be infiltrated, detained or treated prior to discharge into WOUS.
- **i.** A buffer of native plants will be constructed around the site pad even though they are not required by regulation for the construction of poles or utility towers.
- **j.** There will be no discharge of materials from the site during construction activities or post-construction.
- **k.** The site will be restored to pre-construction conditions including pre-graded contours, and protection of disturbed areas with native vegetation.
- **l.** The area of WOUS impacted will be limited to 0.01 acres for the construction of an access road.
- **m.** The construction zone for the site is limited to the allowed width of 50 feet. Please see plans sheet number c-2.0
- **n.** Vegetation shall be cleared to allow access to the site, but shall be minimized to the utility corridor.
- **o.** Please see construction plans for information on location of access areas. No directional drilling is needed.
- **p.** No directional drilling will occur.
- **q.** Trench excavation shall be temporary, but no materials will be stored in wetlands or WOUS.

r. No impact will occur to existing hydrology. Impact to the wetland area will be 0.01 acres and will be reduced by activity and SESC plans.

s. Please see plans page 5 for information on backfilling of trench and roadway over wetland.

t. All disturbed areas will be stabilized immediately upon completion of construction and will be inspected after every .5 inches of rainfall, and/or every 7 days in compliance with the Lake County Watershed Development Ordinance.

u. Please see below for Permit 7 (temporary construction activities c-i)

c. Fill shall be composed of non-erodible materials and be constructed to withstand expected high flows.

d. The construction entrance will cross over the wetlands, therefor low ground pressure equipment will be used to carry materials to the site, or other protective measures will be utilized to minimize soil disturbance such as timber matts.

e. All materials used for temporary construction activities will be moved to an upland area immediately following completion of the activity.

f. The construction area will be restored to pre-construction conditions including grading to original contours and revegetating disturbed areas with appropriate native vegetation upon completion of the project.

g. No cofferdams are needed nor will they be used during activities.

h. No cofferdams will be needed or used during this activity.

i. No instream work will occur on this project.

JOINT APPLICATION FORM FOR ILLINOIS

ITEMS 1 AND 2 FOR AGENCY USE

1. Application Number	2. Date Received

3. and 4. (SEE SPECIAL INSTRUCTIONS) NAME, MAILING ADDRESS AND TELEPHONE NUMBERS

3a. Applicant's Name:	3b. Co-Applicant/Property Owner Name (if needed or if different from applicant):	4. Authorized Agent (an agent is not required):
Marc Samko	Jon Kindseth	Nancy Schumm, CWS, CPESC, CMS4S
Company Name (if any) : Eco-Site	Company Name (if any): Village of Beach Park - Village Administrator	Company Name (if any): Schumm Consulting
Address: 240 Leigh Farm Road, Suite 415 Durham, NC 27707	Address: 11270 West Wadsworth Road Beach Park, Illinois 60099	Address: 220 A. Thornhill Court Lake Barrington, Illinois 60010
Email Address: msamko@eco-site.com	Email Address: jkindseth@villageofbeachpark.com	Email Address: nancyschumm2@gmail.com
Applicant's Phone Nos. w/area code	Applicant's Phone Nos. w/area code	Agent's Phone Nos. w/area code
Business: 1-312-498-4627	Business: 1-847-246-6016	Business: 1-847-975-8391
Residence:	Residence:	Residence:
Cell:	Cell:	Cell:
Fax:	Fax:	Fax:

STATEMENT OF AUTHORIZATION

I hereby authorize, Nancy Schumm to act in my behalf as my agent in the processing of this application and to furnish, upon request, supplemental information in support of this permit application.

Applicant's Signature — Date: 10/21/2015

5. ADJOINING PROPERTY OWNERS (Upstream and Downstream of the water body and within Visual Reach of Project)

Name	Mailing Address	Phone No. w/area code
a.	Please see attached list of Adjoining Property Owners	
b.		
c.		
d.		

6. PROJECT TITLE:
CH76369D - Beach Park

7. PROJECT LOCATION:
12849 West Ford Street, Beach Park, Illinois 60099

LATITUDE: 42.42222 °N LONGITUDE: -87.88056 °W	UTMs Northing: 427558.25 Easting: 4697032.32

STREET, ROAD, OR OTHER DESCRIPTIVE LOCATION	LEGAL DESCRIPT	QUARTER	SECTION	TOWNSHIP NO.	RANGE
N. Side of Beach Road, +/- 0.25 west of Green Bay Road PIN: 04-31-130-001-0000		NE	36	46N	12E

☒ IN OR ☐ NEAR CITY OF TOWN (check appropriate box)			WATERWAY	RIVER MILE (if applicable)
Municipality Name Beach Park			Upper Des Plaines River (watershed) Bull's Creek Watershed (sub-watershed)	
COUNTY	STATE	ZIP CODE		
Lake County	Illinois	60099		

Revised 2010

☐ Corps of Engineers ☐ IL Dep't of Natural Resources ☐ IL Environmental Protection Agency ☐ Applicant's Copy

8. PROJECT DESCRIPTION (Include all features):

Eco-Site proposes to construct a 154-foot Monopole communications tower and associated equipment within a 60-foot by 60-foot (3,600 square feet) equipment lease area at the above property. The project includes a 12-foot wide proposed access and 8-foot wide utility easement that extends south connecting with West Beach Road. Currently the site habitat consists of an agricultural field.

9. PURPOSE AND NEED OF PROJECT:

To provide wireless phone, data, and emergency services coverage to the community of Beach Park and the adjacent Wadsworth communities.

COMPLETE THE FOLLOWING FOUR BLOCKS IF DREDGED AND/OR FILL MATERIAL IS TO BE DISCHARGED

10. REASON(S) FOR DISCHARGE:

N/A

11. TYPE(S) OF MATERIAL BEING DISCHARGED AND THE AMOUNT OF EACH TYPE IN CUBIC YARDS FOR WATERWAYS:

TYPE: N/A

AMOUNT IN CUBIC YARDS:

N/A

12. SURFACE AREA IN ACRES OF WETLANDS OR OTHER WATERS FILLED (See Instructions)

N/A

13. DESCRIPTION OF AVOIDANCE, MINIMIZATION AND COMPENSATION (See instructions)

N/A

14. Date activity is proposed to commence: January 5, 2016

Date activity is expected to be completed: February 1, 2016

15. Is any portion of the activity for which authorization is sought now complete? Yes [ ] No [X]

NOTE: If answer is "YES" give reasons in the Project Description and Remarks section. Indicate the existing work on drawings.

Month and Year the activity was completed: N/A

16. List all approvals or certification and denials received from other Federal, interstate, state, or local agencies for structures, construction, discharges or other activities described in this application.

Issuing Agency	Type of Approval	Identification No.	Date of Application	Date of Approval	Date of Denial
Please see attached list of approvals and certifications					

17. CONSENT TO ENTER PROPERTY LISTED IN PART 7 ABOVE IS HEREBY GRANTED. Yes [X] No

18. APPLICATION VERIFICATION (SEE SPECIAL INSTRUCTIONS)

Application is hereby made for the activities described herein. I certify that I am familiar with the information contained in the application, and that to the best of my knowledge and belief, such information is true, complete, and accurate. I further certify that I possess the authority to undertake the proposed activities.

Nancy [signature] — Signature of Applicant or Authorized Agent — Date: 10-21-15

Signature of Applicant or Authorized Agent — Date

Signature of Applicant or Authorized Agent — Date

[ ] Corps of Engineers Revised 2010 [ ] IL Dep't of Natural Resources [ ] IL Environmental Protection Agency [ ] Applicant's Copy

SEE INSTRUCTIONS FOR ADDRESS

TRILEAF™
ENVIRONMENTAL & PROPERTY CONSULTANTS

1821 Walden Office Square, Suite 510, Schaumburg, Illinois 60173 * 630.227.0202 * www.trileaf.com

5. ADJOINING PROPERTY OWNERS (Upstream and Downstream of the water body and within Visual Reach of Project)

a. Nationstar Mortgage LLC
13028 West Beach Road
Wadsworth, Illinois 60083
1-888-480-2432

b. Brian R. and Janice L. Bell
38585 North Bayonne Avenue
Beach Park, Illinois 60087
Phone number not available

c. Village of Beach Park
12846 West Beach Road
Beach Park, Illinois 60087
847-746-1770

d. George F. and Pauline K. Umek
12941 West Ford Street
Beach Park, Illinois 60087
Phone number not available

e. Carl Dickson
12846 West Ford Street
Beach Park, Illinois 60087
847-623-2723

f. Waukegan Park District
3391 West Beach Road
Waukegan, Illinois 60087
847-360-4700

g. Joshua J. and Christine O. Hecker
38580 North Bayonne Avenue
Wadsworth, Illinois 60083
Phone number not available

h. Village of Beach Park
12849 West Ford Street
Beach Park, Illinois 60087
847-746-1770

i. Waukegan Park District
3391 West Beach Road
Waukegan, Illinois 60087
847-360-4700

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ENVIRONMENTAL & PROPERTY CONSULTANTS

1821 Walden Office Square, Suite 510, Schaumburg, Illinois 60173 * 630.227.0202 * www.trileaf.com

16. List all approvals or certifications and denials received from other Federal, interstate, state, or local agencies for structures, construction, discharges or other activities described in this application.

Issuing Agency	Type of Approval	Identification Number	Date of Application	Date of Approval	Date of Denial
Illinois Historic Preservation Agency	No objection to the proposed undertaking	IHPA LOG #004050115	April 29, 2015 and September 2, 2015	May 20, 2015 and September 10, 2015	N/A
United States Fish and Wildlife Services Midwest Region	No effect determination	Not provided – Online submission	February 6, 2015	February 6, 2015	N/A
Illinois Department of Natural Resources EcoCAT	No records within the Illinois Natural Heritage Database	IDNR Project Number: 1509281	February 17, 2015	February 17, 2015	N/A
Tribal Consultation via FCC's Tower Construction Notification System (TCNS)	Email concurrences	TCNS# 122939	February 6, 2015	Final concurrence: July 2, 2015	N/A
Conditional Use and Variance Applications	Ordinance approving conditional use and variances	2015-O-17	April 3, 2015	May 28, 2015	N/A
Federal Aviation Administration	Determination of No Hazard to Air Navigation	2015-AGL-7517-OE	May 19, 2015	July 8, 2015	N/A
Plan Commission & Zoning Board of Appeals Meeting	Motion to recommend approval	Not provided	May 7, 2015	May 7, 2015	N/A
Lake County SMC	WDP	#15-05-093	October 5, 2015	Pending subject to ACE	N/A

Please see the Wetland Delineation located within the NEPA Report in Appendix 7.2

Please see the Construction Drawings located in Appendix 7.3

Please see the NEPA Report in Appendix 7.2 for the USFWS study and statement of no effect; IDNR EcoCAT results, and IHPA letter of no impact

Watershed Development Ordinance Permit

The Watershed Development Ordinance Permit has not yet been issued. A copy of the permit will be forwarded to the FCC when issued.

Watershed Development Ordinance Permit Application

Beach Park
Eco-Site #IL-0019
T-Mobile #CH76369D
12849 W. Ford Street
Beach Park, IL 60087

Lake County
Stormwater Management Report

W-T CIVIL ENGINEERING, LLC
Civil and Structural Engineers
2675 Pratum Avenue
Hoffman Estates, IL 60192
Tel. (224) 293-6333 Fax (224) 293-6444
Project #CE15084

September 10, 2015

Todd O. Abrams, PE, CFM
Illinois Registered Professional Engineer
No. 062-061600 - Expires 11-30-2015

Stormwater Management Submittal

Table of Contents

- Project Narrative
- Maps
  - USGS Map
  - FIRM Panel #17097C0067K
  - Flood Profile Page 186P
  - Floodway Data Table 12
  - Lake County Topography
  - NRCS Soil Survey
- Wetland Delineation Report, prepared by Trileaf Environmental & Property Consultants, Dated June 17, 2015
- Floodplain Calculations
  - Compensatory Storage Cross Section Exhibits, EX 1.0 and EX 2.0
  - Compensatory Storage Calculations
- Maintenance

Project Narrative

The project is located at 12849 West Ford Street in Beach Park, Illinois. The site is located on the north side of Beach Road, approximately 0.25 miles west of Green Bay Road. The property, along with the properties to the west, north, and east are currently undeveloped agricultural land. There is an existing waterway and floodplain located along the east side of the property.

The project will consist of a new 3,600 square foot lease area, telecommunications tower, associated telecommunications equipment, and new 12 foot wide access road to the site. The 30 feet of access road closest to Beach Road will be asphalt, while the remainder will be compacted gravel. The lease area will also consist of compacted gravel. The total disturbed area is approximately 0.888 acres.

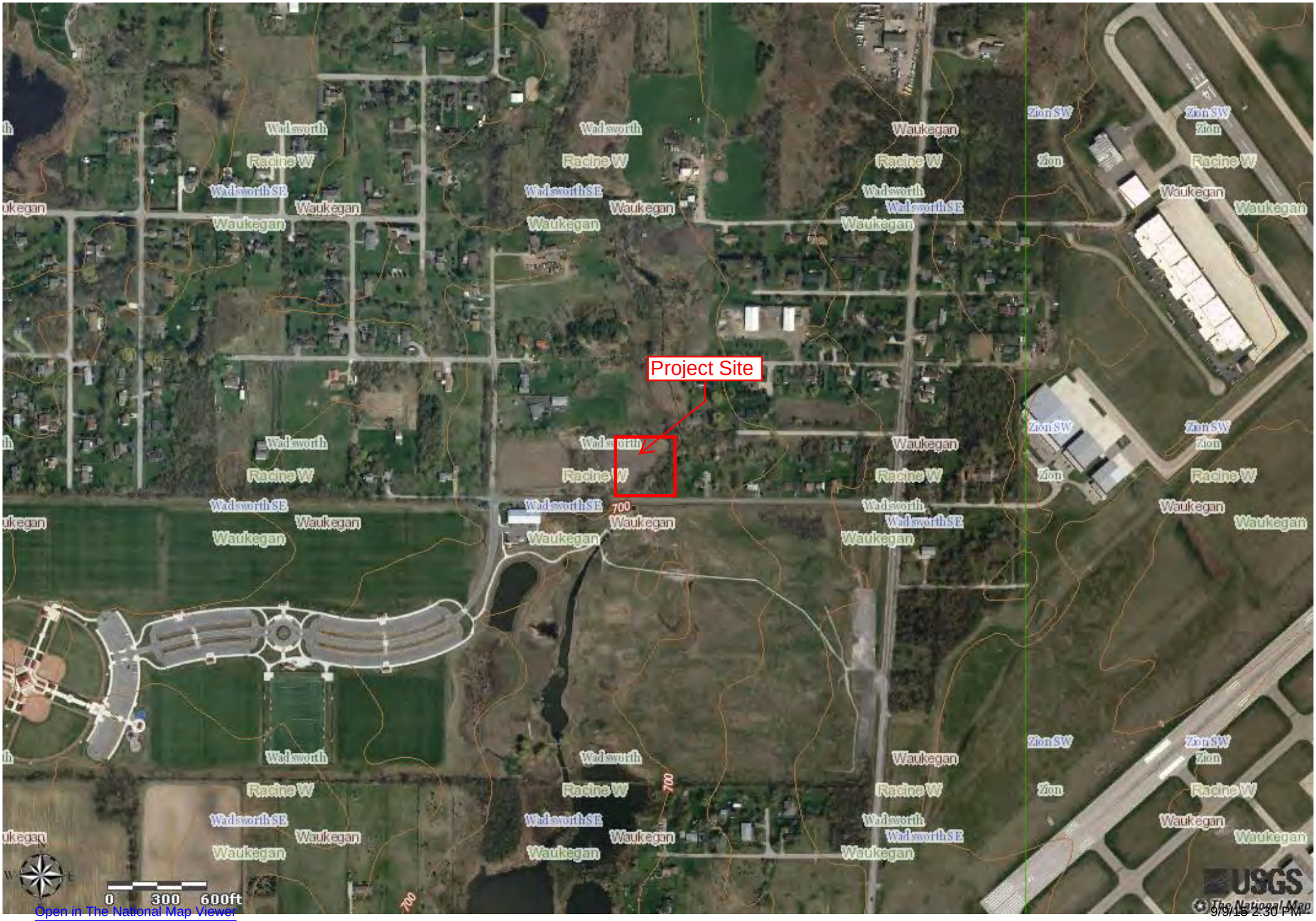
A wetland delineation report for the property was prepared by Trileaf Environmental & Property Consultants. A copy of this report is included in this submittal.

Based on FIRM panel 17097C0067K, there is Zone A floodplain located on the east and south side of the property. According to floodway data cross section V-V, the 100 year base flood elevation at the southern limit of the project is 701.10. Filling of the floodplain is necessary to construct the access road. Based on the Lake County Watershed Development Ordinance, compensatory storage volume for the filled area will be provided at a rate of 1.2:1.

USGS Map

The National Map

NOTES: Data available from U.S. Geological Survey, National Geospatial Program.



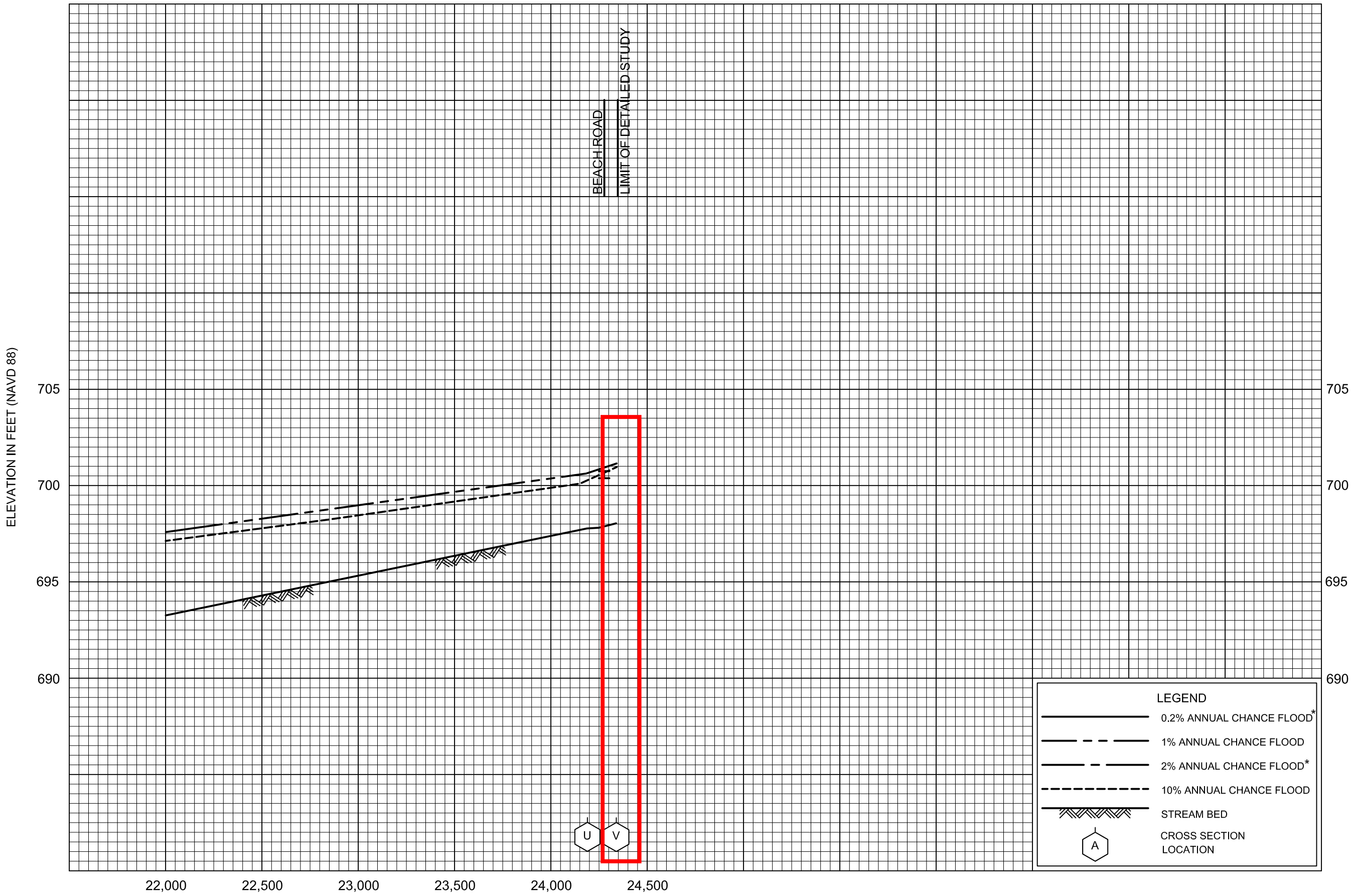
Open in The National Map Viewer

9/9/15 2:30 PM

FIRM Panel #17097C0067K

Please see Floodplain Map in Appendix 7.1

Flood Profile Page 186P



*DATA NOT AVAILABLE

FLOOD PROFILES

SUBURBAN COUNTRY CLUB TRIBUTARY

FEDERAL EMERGENCY MANAGEMENT AGENCY

LAKE COUNTY, IL

AND INCORPORATED AREAS

186P

Floodway Data Table 12

FLOODING SOURCE		FLOODWAY			1-PERCENT-ANNUAL-CHANCE FLOOD WATER SURFACE ELEVATION (FEET NAVD88)			
CROSS SECTION	DISTANCE [1]	WIDTH (FEET)	SECTION AREA (SQUARE FEET)	MEAN VELOCITY (FEET PER SECOND)	REGULATORY	WITHOUT FLOODWAY	WITH FLOODWAY	INCREASE
Suburban Country Club Tributary								
A	328	390	1,306	0.4	668.0	661.2 [2]	661.3	0.1
B	2,572	1,680	622	0.8	668.0	661.8 [2]	661.9	0.1
C	2,686	1,710	340	1.5	668.0	662.0 [2]	662.1	0.1
D	2,951	1,821	8,397	0.1	668.0	662.1 [2]	662.2	0.1
E	4,121	1,440	1,901	0.3	668.0	662.2 [2]	662.3	0.1
F	4,669	1,940	3,207	0.2	668.0	662.2 [2]	662.3	0.1
G	6,635	2,200	2,638	0.2	668.0	662.3 [2]	662.4	0.1
H	8,235	560	3,297	0.1	668.0	662.4 [2]	662.5	0.1
I	10,867	600	317	1.6	668.0	665.3 [2]	665.4	0.1
J	11,036	585	579	0.9	668.0	665.4 [2]	665.5	0.1
K	11,537	664	1,000	0.5	668.0	668.5 [2]	668.6	0.1
L	11,704	741	1,178	0.4	668.0	667.0 [2]	667.1	0.1
M	13,473	560	617	0.6	669.1	669.1	669.2	0.1
N	13,802	843	1,552	0.3	670.9	670.9	671.0	0.1
O	14,988	369	209	1.7	672.4	672.4	672.5	0.1
P	15,219	446	239	1.5	674.6	674.6	674.7	0.1
Q	16,339	298	261	1.3	676.8	676.8	676.9	0.1
R	18,419	24	62	4.1	689.2	689.2	689.3	0.1
S	21,307	126	142	1.5	695.5	695.5	695.6	0.1
T	21,454	273	160	1.3	696.6	696.6	696.7	0.1
U	24,195	273	160	1.1	700.6	700.6	700.7	0.1
V	24,343	282	138	1.2	701.1	701.1	701.2	0.1

[1] Feet above mouth at Des Plaines River
[2] Elevation computed without consideration of backwater effects from Des Plaines River

TABLE 12

FEDERAL EMERGENCY MANAGEMENT AGENCY

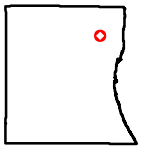
LAKE COUNTY, IL AND INCORPORATED AREAS

FLOODWAY DATA

SUBURBAN COUNTRY CLUB TRIBUTARY

Lake County Topography

Lake County, Illinois



LakeCounty
Geographic Information System

Lake County
Department of Information Technology
18 N County St
Waukegan IL 60085
(847) 377-2373

Map Printed on 9/9/2015

N

Minor Contour

Major Contour

Disclaimer: The selected feature may not occur anywhere in the current map extent. A Registered Land Surveyor should be consulted to determine the precise location of property boundaries on the ground. This map does not constitute a regulatory determination and is not a base for engineering design. This map is intended to be viewed and printed in color.

NRCS Soil Survey

Hydrologic Soil Group—Lake County, Illinois

MAP LEGEND

Area of Interest (AOI)

Area of Interest (AOI)

Soils

Soil Rating Polygons

- A
- A/D
- B
- B/D
- C
- C/D
- D
- Not rated or not available

Soil Rating Lines

- A
- A/D
- B
- B/D
- C
- C/D
- D
- Not rated or not available

Soil Rating Points

- A
- A/D
- B
- B/D
- C
- C/D
- D
- Not rated or not available

Water Features

Streams and Canals

Transportation

- Rails
- Interstate Highways
- US Routes
- Major Roads
- Local Roads

Background

Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL: http://websoilsurvey.nrcs.usda.gov
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Lake County, Illinois
Survey Area Data: Version 8, Sep 13, 2014

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Mar 13, 2012—Mar 28, 2012

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Hydrologic Soil Group— Summary by Map Unit — Lake County, Illinois (IL097)				
Map unit symbol	**Map unit name**	**Rating**	**Acres in AOI**	**Percent of AOI**
153A	Pella silty clay loam, 0 to 2 percent slopes	B/D	1.2	75.5%
979B	Grays and Markham silt loams, 2 to 4 percent slopes	C	0.4	24.5%
Totals for Area of Interest			**1.6**	**100.0%**

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

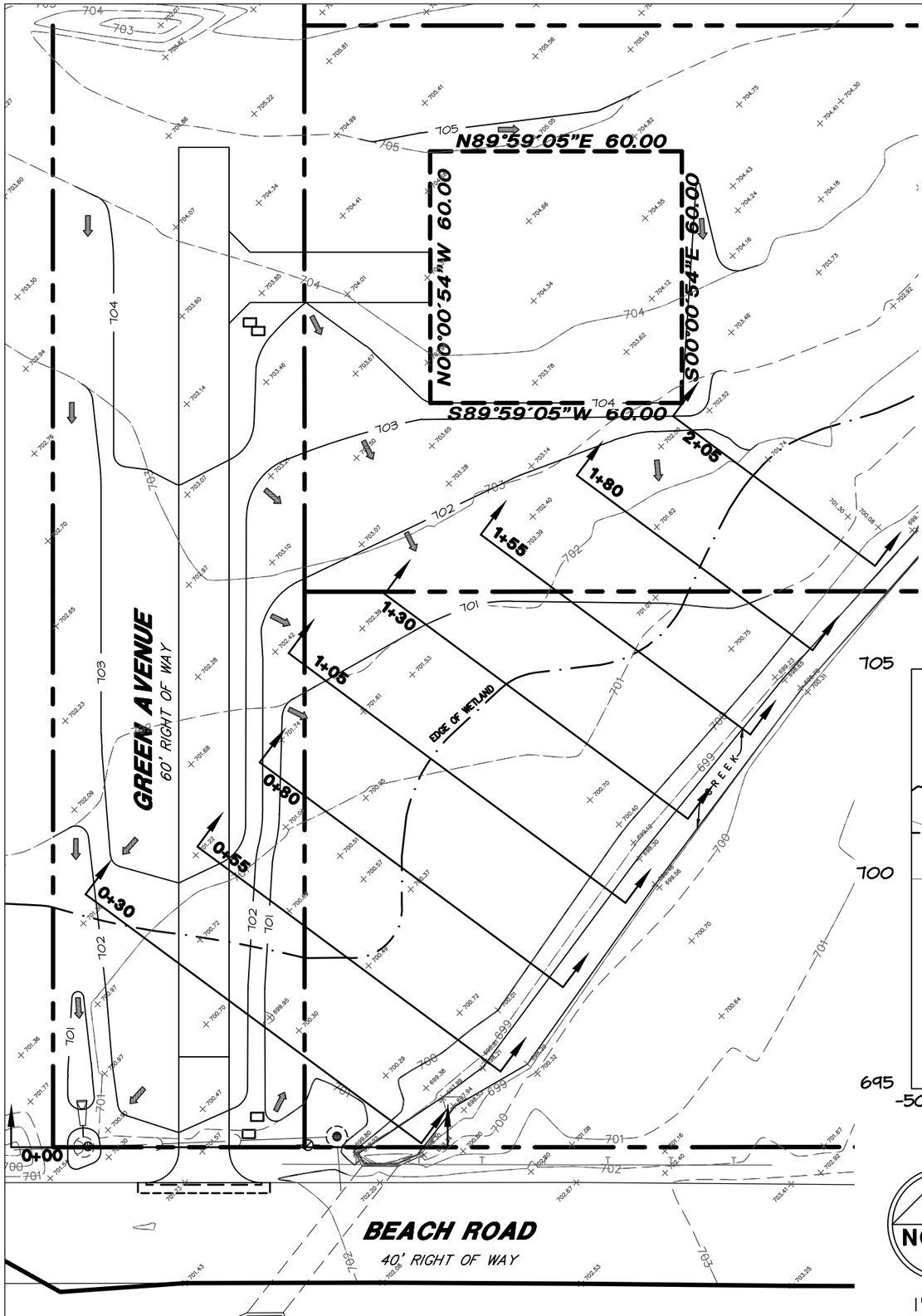
Component Percent Cutoff: *None Specified*

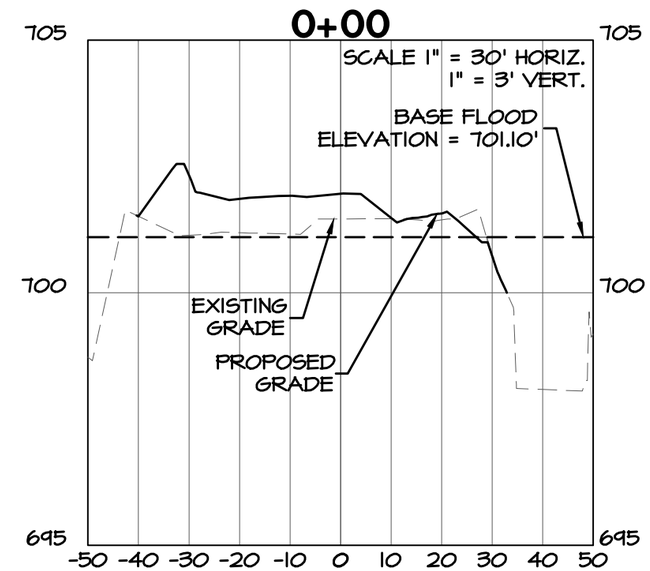
Tie-break Rule: Higher

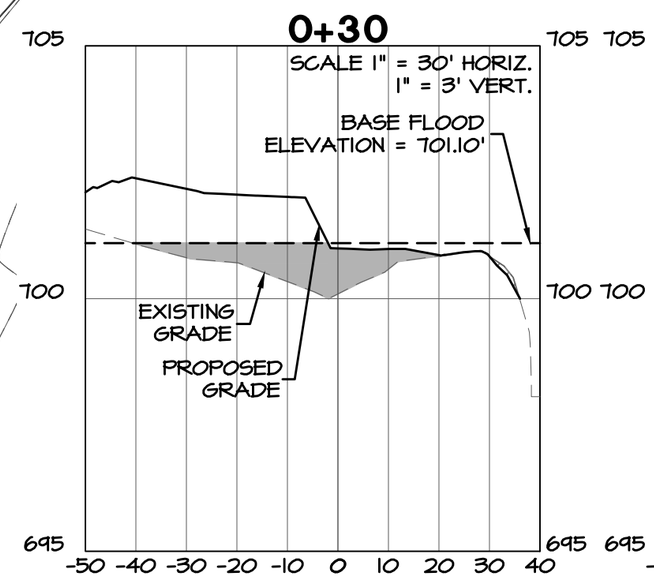
Wetland Delineation Report, prepared by Trileaf Environmental & Property Consultants, Dated June 17, 2015

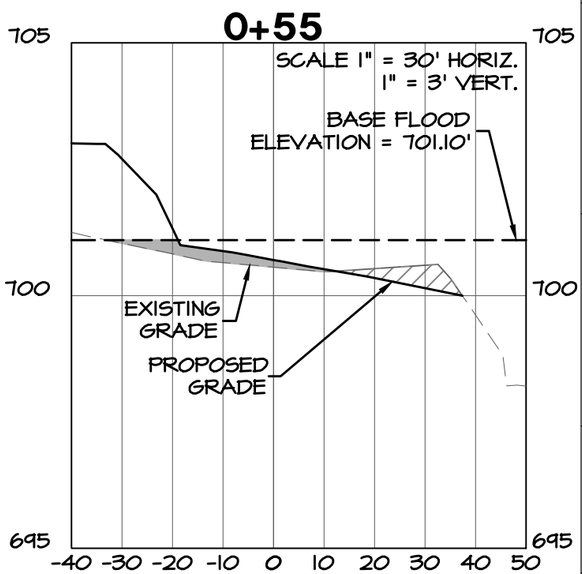
Please see the Wetland Delineation located within the NEPA Report in Appendix 7.2

Compensatory Storage Cross Section Exhibits, EX 1.0 and EX 2.0









NORTH

1" = 30'

	HATCH
COMPENSATORY STORAGE	
FLOODPLAIN FILL	

W-T JOB NUMBER-CE15084

W-T CIVIL ENGINEERING, LLC.
CIVIL AND STRUCTURAL ENGINEERS
2675 Pratum Avenue
Hoffman Estates, Illinois 60192
PH: (224) 293-6333 FAX: (224) 293-6444
www.wtengineering.com
IL. License No.: 184-003492 Exp: 04/30/17

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Eco-Site
Urban. Renewal. Wireless.
240 LEIGH FARM ROAD
SUITE 415
DURHAM, NC 27707
ECO-SITE.COM

T-Mobile
2001 BUTTERFIELD
DOWNERS GROVE, IL 60515
T-MOBILE.COM

A&E:
SAC WIRELESS ENGINEERING GROUP
1501 E. WOODFIELD RD.
SUITE #300E
SCHAUMBURG, IL 60173
www.sacw.com
847.944.1600

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THIS DOCUMENT.

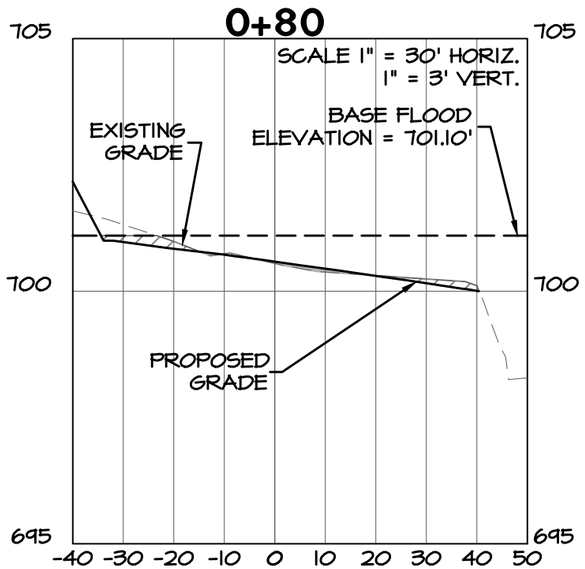
SUBMITTALS

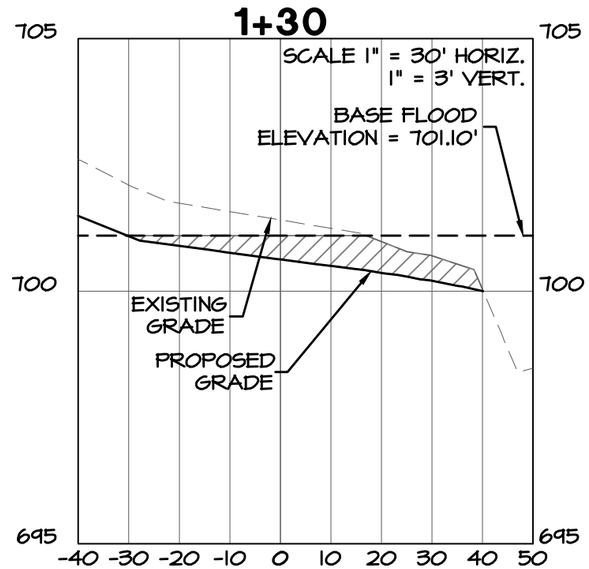
#	DATE	DESCRIPTION	BY

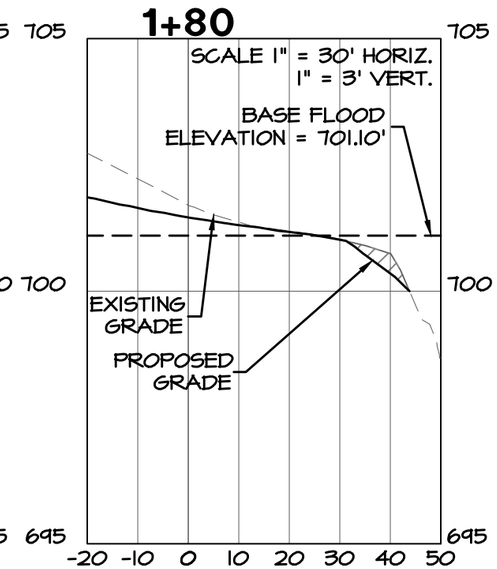
BEACH PARK
T-MOBILE ID #: CH76369D
ECO SITE ID #: IL-0019
12849 W. FORD STREET
BEACH PARK, IL 60087

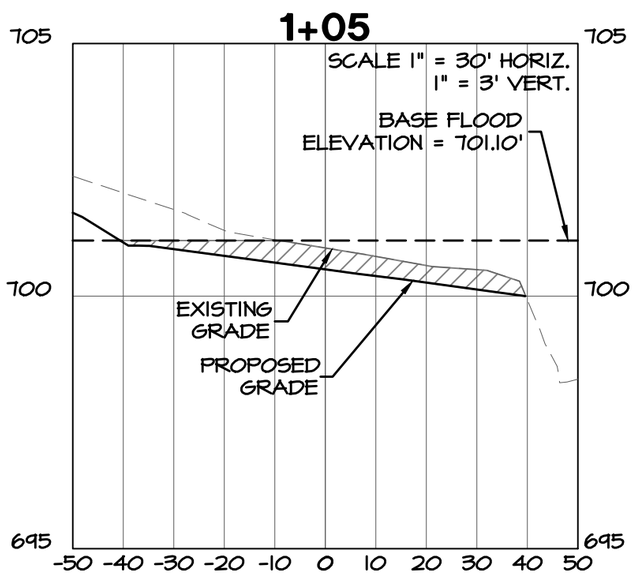
SHEET TITLE
COMPENSATORY STORAGE CROSS SECTIONS EXHIBIT

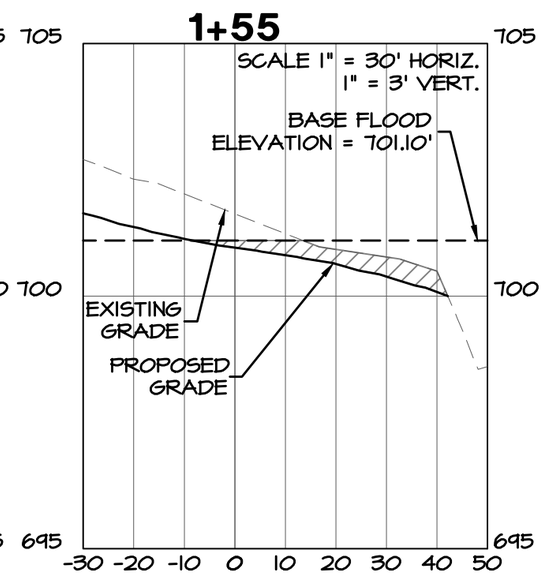
SHEET NUMBER
EX 1.0

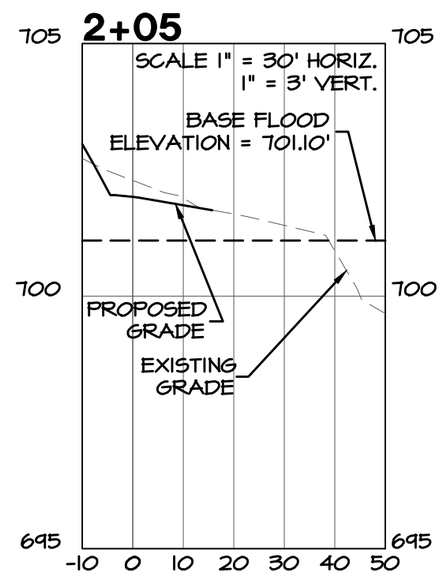












	HATCH
COMPENSATORY STORAGE	
FLOODPLAIN FILL	

W-T JOB NUMBER-CE15084

W-T CIVIL ENGINEERING, LLC.
CIVIL AND STRUCTURAL ENGINEERS
2675 Pratum Avenue
Hoffman Estates, Illinois 60192
PH: (224) 293-6333 FAX: (224) 293-6444
www.wtengineering.com
IL. License No.: 184-003492 Exp: 04/30/17

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Eco-Site
Urban. Renewal. Wireless.
240 LEIGH FARM ROAD
SUITE 415
DURHAM, NC 27707
ECO-SITE.COM

T-Mobile
2001 BUTTERFIELD
DOWNERS GROVE, IL 60515
T-MOBILE.COM

A&E:
SAC WIRELESS ENGINEERING GROUP
1501 E. WOODFIELD RD.
SUITE #300E
SCHAUMBURG, IL 60173
www.sacw.com
847.944.1600

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THIS DOCUMENT.

SUBMITTALS

#	DATE	DESCRIPTION	BY

BEACH PARK
T-MOBILE ID #: CH76369D
ECO SITE ID #: IL-0019
12849 W. FORD STREET
BEACH PARK, IL 60087

SHEET TITLE
COMPENSATORY STORAGE CROSS SECTIONS EXHIBIT

SHEET NUMBER
EX 2.0

Compensatory Storage Calculations

W-T CIVIL ENGINEERING, L.L.C.
CIVIL AND STRUCTURAL ENGINEERS
2675 PRATUM AVENUE
HOFFMAN ESTATES, IL 60192
224-293-6333

PROJECT NAME: **12849 West Ford Street**
LOCATION: **Beach Park, IL**
DATE: **9-Sep-15**
BY: **JLG**

AVERAGE END AREA CUT- FILL CALCULATIONS

BELOW 100-YR BFE (701.10)

SECTION	LENGTH (FT)	CUT AREA (SF)	CUT VOLUME (CY)	FILL AREA (SF)	FILL VOLUME (CF)
0+00		0.18		0.01	
	30.12		0.40		15.81
0+30.12		0.54		28.34	
	25.00		3.24		16.36
0+55.12		6.45		7.00	
	25.00		5.00		3.75
0+80.12		4.36		1.11	
	25.00		14.13		0.51
1+05.12		26.16		0.00	
	25.00		25.64		0.00
1+30.12		29.23		0.00	
	25.00		22.77		0.00
1+55.12		19.95		0.00	
	25.00		12.77		0.00
1+80.12		7.64		0.00	
	25.00		3.54		0.00
2+05.12		0.00		0.00	

TOTAL SECTIONAL VOLUMES = **87.49 CY (CUT)** **36.44 CY (FILL)**

TOTAL FILL = **36.44 CY** **TOTAL CUT =** **87.49 CY**

COMPENSATORY STORAGE VOLUME REQUIRED AT 1.2:1 RATIO OF CUT TO FILL = **43.73 CY**

87.49 C.F. > 43.73 C.F. OK

Maintenance

The following is a description of procedures that will be used to maintain, in good and effective operating conditions, vegetation, erosion and sediment control measures and other protective measures identified in this plan.

During construction the contractor shall:

- Clean up and grade the work area to eliminate concentration of runoff.
- Cover the open ends of pipes in trenches at the close of each working day.
- Inspect, maintain or replace (at inspector's discretion) erosion and sediment control items.

Prior to any landscaping/restoration work, the contractor shall:

- Remove and replace plugged filter fence storm drain protection devices.
- All maintenance of erosion control systems will be the responsibility of the contractor. All locations where vehicles enter and exit the construction site and all other areas subject to erosion should also be inspected periodically. Inspection of these areas shall be conducted at least once every seven days and within 24 hours of the end of each 0.25 inches or greater or rainfall, or equivalent snowfall.
- The contractor shall follow inspection procedures as outlined in the Stormwater Pollution Prevention Plan

Following construction (Station Manager)

- Clean sedimentation out of the catch basins and the underground detention system - as necessary
- Mow the grass in the green spaces and the detention pond as necessary
- Follow the maintenance schedule outlined in the attached Stormceptor System Owner's Manua

Preliminary Jurisdictional Determination

STORMWATER MANAGEMENT COMMISSION

October 21, 2015

Mr. Jon Kindseth, Village Administrator
Village of Beach Park
11270 W. Wadsworth Road
Beach Park, IL 60099

Subject: **SMC File #: 15-05-093**
USACE #: LRC-2015-00778
CH76369D – Beach Park, 12849 W. Ford Street, Beach Park, Lake County, IL
PRELIMINARY WETLAND JURISDICTIONAL DETERMINATION

Dear Mr. Kindseth:

This letter responds to the request for a preliminary wetland jurisdictional determination (PJD) for the subject project, submitted on your behalf by Trileaf Environmental & Property Consultants (Trileaf) and received by the Lake County Stormwater Management Commission (SMC) on October 9, 2015. SMC Regulatory Staff reviewed source materials and performed a site reconnaissance on October 20, 2015, in the company of Mr. Michael Murphy of the U.S. Army Corps of Engineers (USACE) and Ms. Nancy Schumm of Schumm Consulting LLC. The wetlands/waters referenced in this letter are shown on the enclosed exhibit entitled **"Wetland/Floodplain Map"** (Trileaf, not dated).

Based on our findings, the subject property contains one (1) apparent *Waters of the United States* (WOUS), which is subject to regulation by the USACE under Section 404 of the federal Clean Water Act, as follows:

- **The area identified as "Wetland" is an apparent WOUS.** This area has a clearly discernible hydrologic connection to the traditionally navigable Des Plaines River (via the Upper Des Plaines River sub-watershed). This determination does not include a field verification of the delineated WOUS boundaries. You may request a boundary verification from the USACE (SMC is not authorized to verify WOUS boundaries). The surveyed WOUS boundaries will need to be included on the development plans for permitting purposes.

This PJD has been approved by SMC's Chief Engineer and the findings are valid for a period of three (3) years from the date of this letter, unless new information warrants a revision before the expiration date. If you disagree with the findings of this PJD, you may request a final (approved) JD from the USACE.

For your information, SMC determined the jurisdiction of potential WOUS based on guidance provided in the EPA/USACE Memorandum entitled "Clean Water Act Jurisdiction following the U.S. Supreme Court's decision in Rapanos v. United States & Carabell v. United States," dated June 5, 2007 (revised December 2, 2008), and the USACE's *Jurisdictional Determination Form Instructional Guidebook* dated May 30, 2007.

Permitting Considerations

This letter satisfies the requirement for a written jurisdictional determination under Article 10, Section 1001 of the Lake County Watershed Development Ordinance (WDO). A Watershed Development Permit (WDP) from SMC will be required for the proposed project, which involves public development in a regulatory floodplain, in accordance with the applicable provisions of the WDO. Please coordinate with Mr. Scott Griffith, SMC's Regulatory Engineer Supervisor, at 847-377-7701 for the appropriate permit application form and procedures with respect to the WDO Standard Provisions and with Juli Crane, SMC's Principal Wetland Specialist, at 847-377-7708 for approval of the project with respect to the WDO Wetland Provisions. Please note that the surveyed wetland boundaries will need to be included on the project plans for permitting purposes.

If the proposed development will impact WOUS, a separate wetland permit from the USACE will be required. Please refer to the USACE-Chicago District's web site for the permit application submittal requirements: http://www.lrc.usace.army.mil/Missions/Regulatory/Illinois/AppChecklist.aspx. The USACE may require SMC's technical review/approval of the proposed soil erosion and sediment control plan (SE/SC) for the development as a condition of the USACE permit. We will advise you if our SE/SC review/approval is required.

We would like to be of assistance. If you have any questions, or would like to set up a meeting, please call our office at 847-377-7705 or e-mail Juli Crane at jcrane@lakecountyil.gov. If you have any additional concerns that have not been addressed by the regulatory staff, you may contact Chief Engineer Kurt Woolford kwoolford@lakecountyil.gov or Executive Director Michael Warner mwarner@lakecountyil.gov at 847- 377-7700.

If you would like to provide feedback regarding the SMC permit/inspection process please go to: (password – *survey*)
http://www.lakecountyil.gov/Stormwater/Pages/PermitProcessSurvey.aspx
http://www.lakecountyil.gov/Stormwater/Pages/InspectionProcessSurvey-.aspx

Sincerely,

LAKE COUNTY STORMWATER MANAGEMENT COMMISSION

Kurt Woolford, P.E., CFM
Chief Engineer

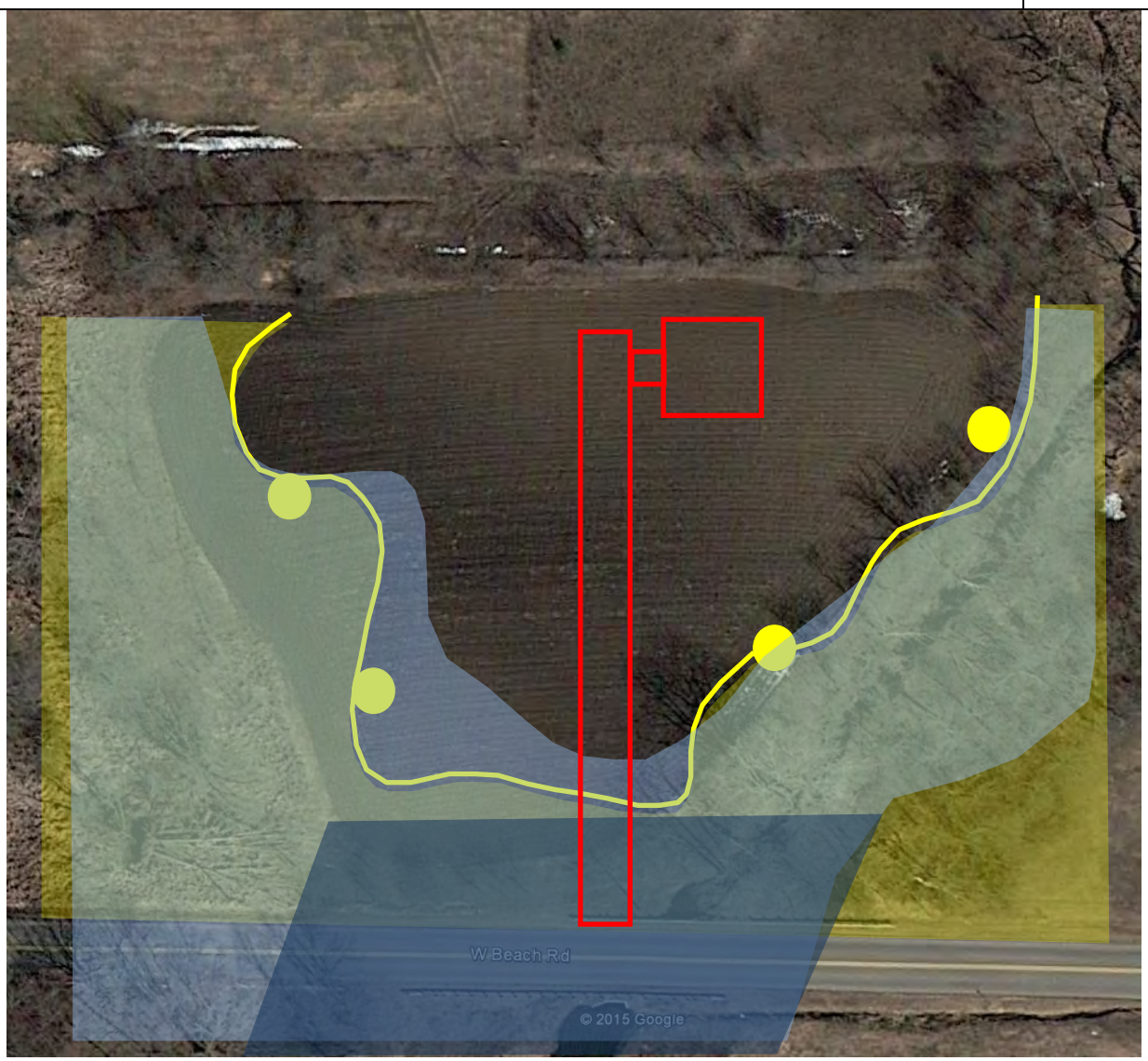
Juli E, Crane, PWS, CWS
Principal Wetland Specialist

Enclosure: Wetland/Floodplain Map (Trileaf, not dated).

cc: K. Chernich/M. Murphy/M. Navis, USACE
K. Dubowski, Trileaf
N. Schumm, Schumm Consulting
S. Griffith, SMC

This document was digitally transmitted. Please print out a copy of the document and retain for your records. If you are unable to print the document, or desire a hard copy mailed be to you, please notify SMC at your earliest convenience.

Wetland/Floodplain Map



KEY:

Proposed Construction Area:

Floodplain:

Wetland Boundary:

Floodway:

Data Points:

Wetland:

TRILEAF tm

Environmental & Property Consultants

Appendix 7.5
FCC EA Deficiency Checklist

FCC ENVIRONMENTAL ASSESSMENT

Applicant: Eco-Site, Inc. FCC File No.: N/A

The Spectrum and Competition Policy Division, Wireless Telecommunications Bureau sends "deficiency letters" to individual licensees and applicants, including tower owners, who have submitted environmental assessments (EAs) with applications (*i.e.*, a filed FCC Form 601 or FCC Form 854) when the EA submitted is insufficient or lacks necessary documentation.

The following checklist is now used by the staff as an attachment to each deficiency letter to inform the licensee, applicant, or tower owner (collectively, "Applicant") concerning compliance with 47 C.F.R. § 1.1307 of the Commission's rules. In addition to compiling this information, Applicants are required to comply with all of the Commission's environmental rules, including 47 C.F.R. § 1.1311 (i.e., "environmental information to be included in the environmental assessment (EA)"), to determine whether a proposed facility may have significant effect on the environment.

For purposes of ease of review, Trileaf is providing explanation for each of the compliance criteria.

Pursuant to 47 C.F.R. § 1.1307, this EA provides insufficient information regarding the proposed facility's compliance with the following NEPA requirements:

_____ **(a)(1) will be located in an officially designated wilderness area**

Trileaf used site observations and reviewed the U.S. Geological Survey (USGS) 7.5-Minute Series Quadrangle (Wadsworth Quadrangle, IL) and the National Wilderness Preservation System website and determined that the Project site is not located in an officially designated wilderness area. See Appendix 7.2.

_____ **(a)(2) will be located in an officially designated wildlife preserve**

Trileaf used site observations and reviewed the U.S. Geological Survey (USGS) 7.5-Minute Series Quadrangle (Wadsworth Quadrangle, IL) and the United States Fish & Wildlife Service National Wildlife Refuge System website and determined that the Project site is not located in an official designated wildlife preserve. See Appendix 7.2

_____ **(a)(3) may affect listed threatened or endangered species or designated critical habitats; or is likely to jeopardize the continued existence of any proposed endangered or threatened species or likely to result in the destruction or adverse modification of proposed critical habitats**

Trileaf used site observations, performed an Informal Biological Assessment, and consulted with the Midwest Region Section 7 Technical Assistance website of the United States Fish and Wildlife Service as well as the Illinois Department of Natural Resources Ecological Compliance Assessment Tool (EcoCAT), and determined that no federally listed or state listed threatened or endangered species will be affected by the Project. See Appendix 7.2.

_____ **(a)(4) may affect districts, sites, buildings, structures or objects significant in American history, architecture, archeology, engineering or culture, that are listed, or are eligible for listing, in the National Register of Historic Places**

On April 29, 2015, Trileaf submitted the Form 620, with a "No Effect on Historic Properties in the Area of Potential Effects" determination. The Illinois Historic Preservation Agency (IHPA) concurred with Trileaf's findings on May 20, 2015, stating there will be no effect on historic buildings, structures, districts, objects, or archaeological resources within the area of potential effects. See Appendix 7.2.

_____ **(a)(5) may affect Indian religious sites**

Trileaf contacted all interested Tribal organizations through the FCC's Tower Construction Notification System (TCNS). No tribes objected to this undertaking. The correspondence is included in Appendix 7.2.

___x_____ **(a)(6) will be located in a floodplain**

Trileaf reviewed the USGS topographic map, the Flood Insurance Rate Map (17097C0067K) to determine if the project was located within the 100-year flood plain. Trileaf determined that the property is located in Zone X, areas determined to be outside the 500-year floodplain. However, the southern portion of the access/utility easement is located in Zone A and Zone AE. Therefore, the access/utility easement associated with the project site is located within a 100-Year Flood Plain and floodway. As a result, this environmental assessment is needed. The base flood elevation (BFE) was determined by the Flood Insurance Rate Map to be 701 feet above mean sea level. A copy of the FEMA flood map can be found in Appendix 7.2.

___x_____ **(a)(7) construction will involve significant change in surface features (*e.g.*, wetland fill, deforestation or water diversion)**

Trileaf reviewed the conducted field visit and the US Fish and Wildlife Service's National Wetlands Inventory Map, included in Appendix 7.2, and the USGS topographic map, included in Appendix 7.1. Trileaf determined that the site is not located in a recognized National Wetland area. However, Trileaf's site assessment revealed evidence of potential wetlands or hydrophytic vegetation located on or in the immediate vicinity of the project site. Additionally, a review of the United States Department of Agriculture (USDA) Soil Survey (websoilsurvey.sc.egov.usda.gov) indicated hydric soils at the project site. Based on this review, Trileaf recommended a wetland delineation take place for the proposed project site. The wetland delineation identified that designated wetland areas are located within the vicinity of this project and significant changes in surface features resulting from the proposed undertaking are anticipated.

_____ **(a)(8) will be equipped with high intensity white lights which are to be located in residential neighborhoods, as defined by the applicable zoning law**

Towers less than 499 feet are not equipped with high intensity white lights. Verizon Wireless will not utilize high intensity white lights for the proposed undertaking.

_____ **(b) would cause human exposure to levels of radiofrequency radiation in excess of Commission-adopted guidelines**

The Radio Frequency will be in compliance with local zoning requirements and FCC guidelines.

Appendix 7.6
Qualifications

TRILEAF™

PROFESSIONAL RESUME

KRISTIN K. DUBOWSKI

PROJECT MANAGER

Education

B.S., Zoology – 2006
Michigan State University
East Lansing, Michigan

Fields of Special Competence

Ms. Dubowski specializes in environmental remediation and state and federal environmental regulations. Further specialization includes performing Phase I Environmental Site Assessments, Phase II Environmental Site Assessments, National Programmatic Agreement reviews (NPA), NEPA compliance, and Section 106 compliance for both commercial and wireless communications projects.

Experience

Ms. Dubowski has experience performing NEPA compliance, NPA Reviews, preparing State Historic Preservation Office documents, and Section 106 compliance reports under the Federal Communications Commission's standards for wireless communication projects throughout the Midwest.

Ms. Dubowski has experience performing Phase I Environmental Site Assessments, Phase II Environmental Site Assessments, Lead-based Paint Surveys, Mold Assessments, including air sampling for mold, Lead-in-water sampling, and Asbestos sampling/inspections for industrial, commercial, and residential properties.

Certifications and Affiliations

OSHA 40 hour HAZWOPER and Refresher Courses

Asbestos Building Inspector and Refresher Courses

ASTM course for Phase I Environmental Site Assessment Practices For Commercial Real Estate: Transaction Screens & Phase I Site Assessments

Attachment 1. Consultant Information

Provide a current copy of the resume or curriculum vitae for the Principal Investigator and any researcher or other person who contributed to, reviewed, or provided significant input into the research, analysis, writing or conclusions presented in this filing.

A current copy of the resume for the Principal Investigator and any researcher or other person who contributed to, reviewed, or provided significant input into the research, analysis, writing or conclusions presented in this filing.

Jill M. Kotwasinski, M.S., RPA

SENIOR PROJECT SCIENTIST

Education

M.S. Anthropology: Archaeology Concentration,
University of Wisconsin Milwaukee, Milwaukee, WI 2014

B.S. North American Archaeology; Minor in Environmental Studies 2011
University of Wisconsin La Crosse, La Crosse, WI

Professional Permits and Qualifications

Secretary of Interior Qualified Archaeology (Prehistoric and Historic Periods)
Registered Professional Archaeologist

Fields of Special Competence

Ms. Kotwasinski specializes in conducting and managing Phase I, II, and II prehistoric and historical archaeological investigations. Ms. Kotwasinski has experience in cultural resource management implementation and compliance for construction, commercial, and wireless communications projects. Ms. Kotwasinski has interest and experience in environmental remediation and state and federal environmental regulations and performing Phase I Environmental Site Assessments.

Experience

Ms. Kotwasinski has experience performing NEPA compliance, NPA Reviews, and Section 106 compliance reports under the Federal Communications Commission's standards for wireless communication projects throughout the Midwest. Ms. Kotwasinski has experience presenting scientific research in the professional environment and at conferences. Furthermore, she has experience in both field and laboratory settings. Her field experience includes performing, under Section 106, literature

reviews and archaeological field survey, testing, and data recovery efforts throughout the Great Lakes and Midwest. She specializes in Midwest and the Great Lakes region prehistoric ceramic analysis and classification. Ms. Kotwasinski has experience performing informal biological assessments, wetland and floodplain determinations, threatened and endangered species evaluations, and critical habitat research.

Selected Professional Employment and Positions

Cultural Resource Specialist, Trileaf Corporation, Schaumburg, Illinois, 2014-present.
Field/Lab Archaeological Technician, UWM Cultural Resource Management Services, 2011-2014.
Archaeological Lab Technician, Mississippi Valley Archaeology Laboratory, 2007-2011

Selected Publications

Understanding Use and Function: An Intrasite Comparative Analysis of 2011 UWM Aztalan Ceramic Assemblage, University of Wisconsin-Milwaukee, Master's Thesis, 2014.
Analysis of Stylistic Attributes on Oneota Pottery from the Pammel Creek Site La Crosse, Wisconsin, University of Wisconsin-La Crosse, Undergraduate Honors Thesis, 2011.

Selected Presentations

"A Compositional Perspective on Ceramics from the 2011 UWM Excavations at the Aztalan Site" co-author Dr. John D. Richards Paper presented at the 78th Meeting of the Society for American Archaeology Honolulu, Hi 2013.

"Analysis of Stylistic Attributes on Oneota Pottery from the Pammel Creek Site La Crosse, Wisconsin" Paper presented at Undergraduate Research Day University of Wisconsin La-Crosse 2011.

Certifications/Affiliations

Society for American Archaeology
The Student Conservation Association
Midwest Archaeological Conference
Member of the Wisconsin Archeological Survey

Approved by OMB
3060-1039
See instructions for
Public burden estimates

Kevin McHugh

1924 Hayselton Drive

Jefferson City, Missouri 65109

573-634-3191

E-mail: mchugk@yahoo.com

Education

- University of Virginia – Master of Arts in Architectural History
- University of Kansas – Bachelor of General Studies in Art History
- Continuing Education in Computer Programs such as EXCEL, Word, PowerPoint, ARCVIEW

Employment

CEO, Architectural Research LLC

Jefferson City, Missouri 2014 – Present

- Provide research for historic architectural resources in five Midwestern states
- Provide Section 106 compliance materials for State Historic Preservation Offices
- Support effective working relationships with individuals, private companies and public agencies

Grant Manager, Seagull Environmental Technologies

Contractor for the State Emergency Management Agency (SEMA), Jefferson City, Missouri 2012 - 2014

- Responsible for compliance issues on up to fourteen separate projects
- Responsible for monitoring grants in excess of $15 million
- Interact with the public as well as federal and state agencies

Senior Environmental Specialist and Architectural Historian

Missouri Department of Transportation, Jefferson City Missouri 1995 - 2011

- Provide ongoing environmental and architectural expertise in project management for MoDOT staff to meet National Environmental Policy Act (NEPA) regulations and complete MoDOT projects on time
- Meet with staff and consultants as project core team member/lead work
- Develop and present PowerPoint presentations on involved topics such as Section 4(f) and Section

6(f) compliance for engineering staff

- Compose a wide variety of business correspondence with state agencies and contractors so that borrow sites obtain environmental compliance
- Successfully respond to all inquiries regarding project status
- Write decision making documents such as Categorical Exclusions (CE2s) for the Federal Highway Administration (FHWA) with legal sufficiency on a multiplicity of environmental and historic preservation issues
- Research a multitude of subjects from local history to environmental regulations
- Provide expertise in mentoring junior employees
- Serve as lead worker, supervising and coordinating with other employees so that MoDOT projects come in on time and under budget
- Review and edit material from cover letters to environmental documents
- Monitor and resolve difficult environmental compliance situations with local governments and agencies
- Consistently receive "exceeds expectations" on yearly employee evaluations
- Multiple MoDOT award winner in innovation and productivity

Manager, Community College of Aurora Bookstore

Denver, Colorado 1995

- Manage $1million bookstore
- Train and instruct three full-time office employees
- Achieve complete knowledge of bookkeeping and cash flow management
- Ability to compose a wide variety of business correspondence
- Responsible for hiring and training up to five seasonal employee

PROFESSIONAL RESUME

JOSEPH D. OSBOURNE

GROUP MANAGER

GREAT LAKES REGION HEADQUARTERS

Education

M. S., Wildlife and Fisheries Resources, West Virginia University
B. S., Wildlife, Purdue University

Fields of Special Competence

Mr. Osbourne specializes in environmental site inspections and state and federal environmental regulations. Further specialization includes performing Phase I Environmental Site Assessments (ESA), National Environmental Policy Act (NEPA) and National Programmatic Agreement (NPA) site reviews, and wetland delineations.

Experience

Mr. Osbourne has extensive experience performing site inspections and background research for Phase I ESAs, NEPA site reviews, and NPA site reviews. He has conducted research, mapping, wetland delineation, and state agency correspondence activities for wireless communications and commercial development projects throughout the United States. Mr. Osbourne has researched aerial photography, historic topographic maps, National Wetland Inventory maps, Federal Emergency Management Agency Flood Insurance Rate Maps, city directories, and title information associated with Phase I ESAs and NEPA site reviews. Mr. Osbourne also has extensive experience conducting historic architectural reviews and Native American tribal consultations in accordance with Section 106 of the National Historic Preservation Act.

Certifications/Affiliations

40-hour OSHA Hazardous Waste Site Operations Training

Florida Department of Environmental Protection Wetland Delineation Certification

National Technical Committee for Hydric Soils Specialized Training for Wetland Scientists Certification